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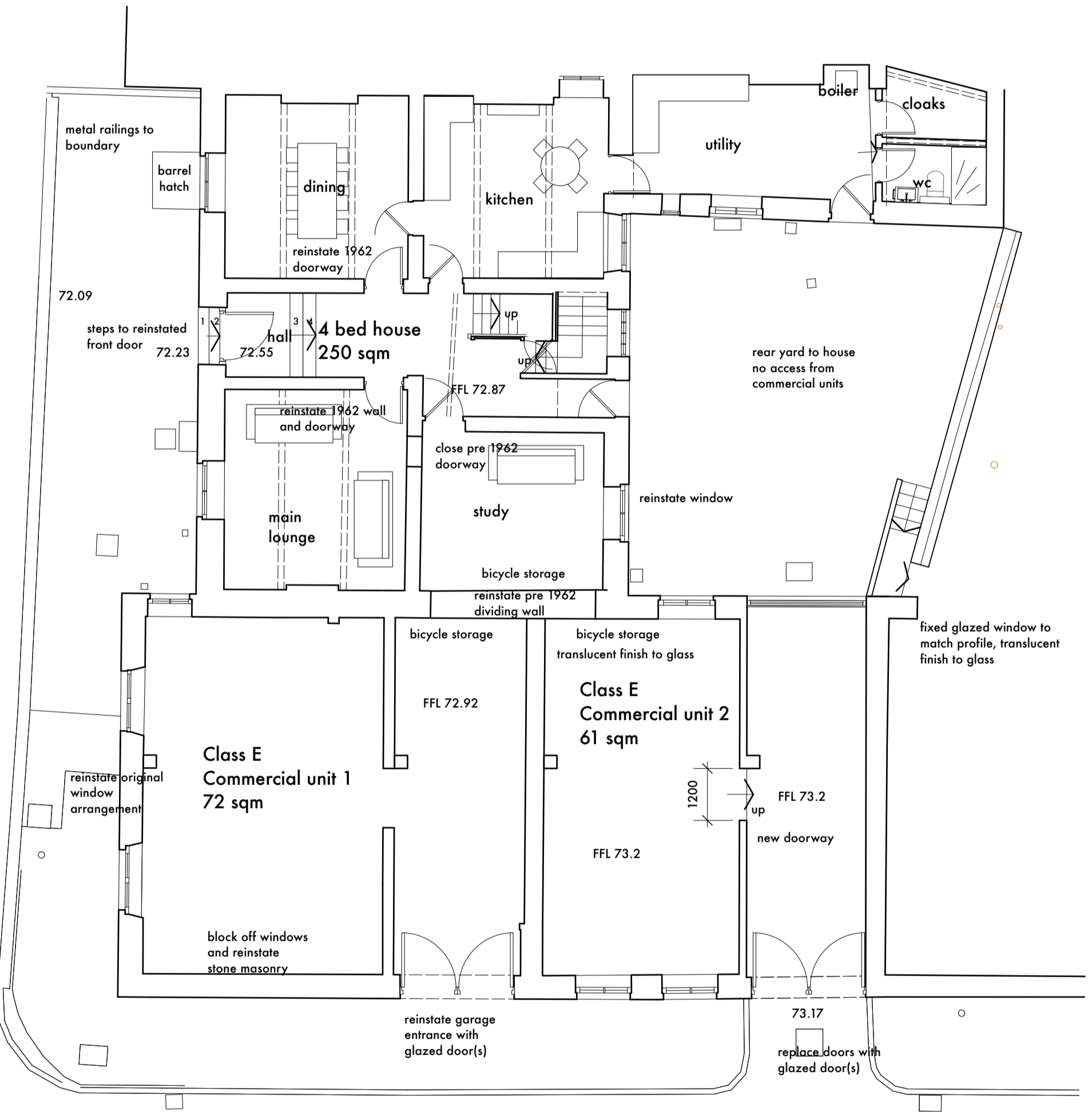
'As existing' drawings based on information provided by others - no measured survey of the property has been undertaken by the architect. This drawing is subject to copyright.

**Generally**

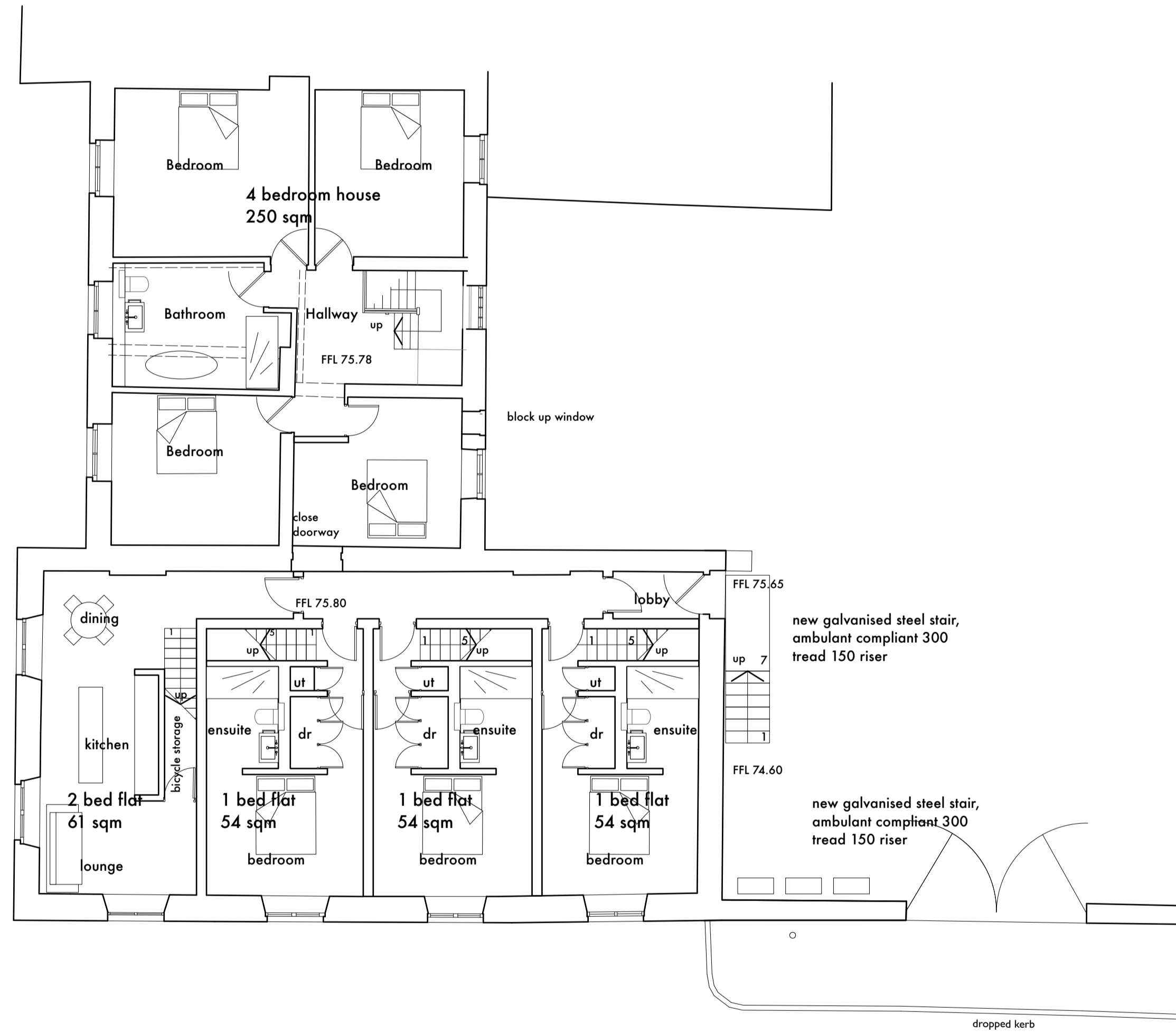
Walls lined internally with FIR insulation between studs and lined with plasterboard to reduce heat loss. Cills, skirting etc to be reinstated or extended to match existing.

Reinstated doorways, new doorways to have architraves, linings, doors to match existing doors.

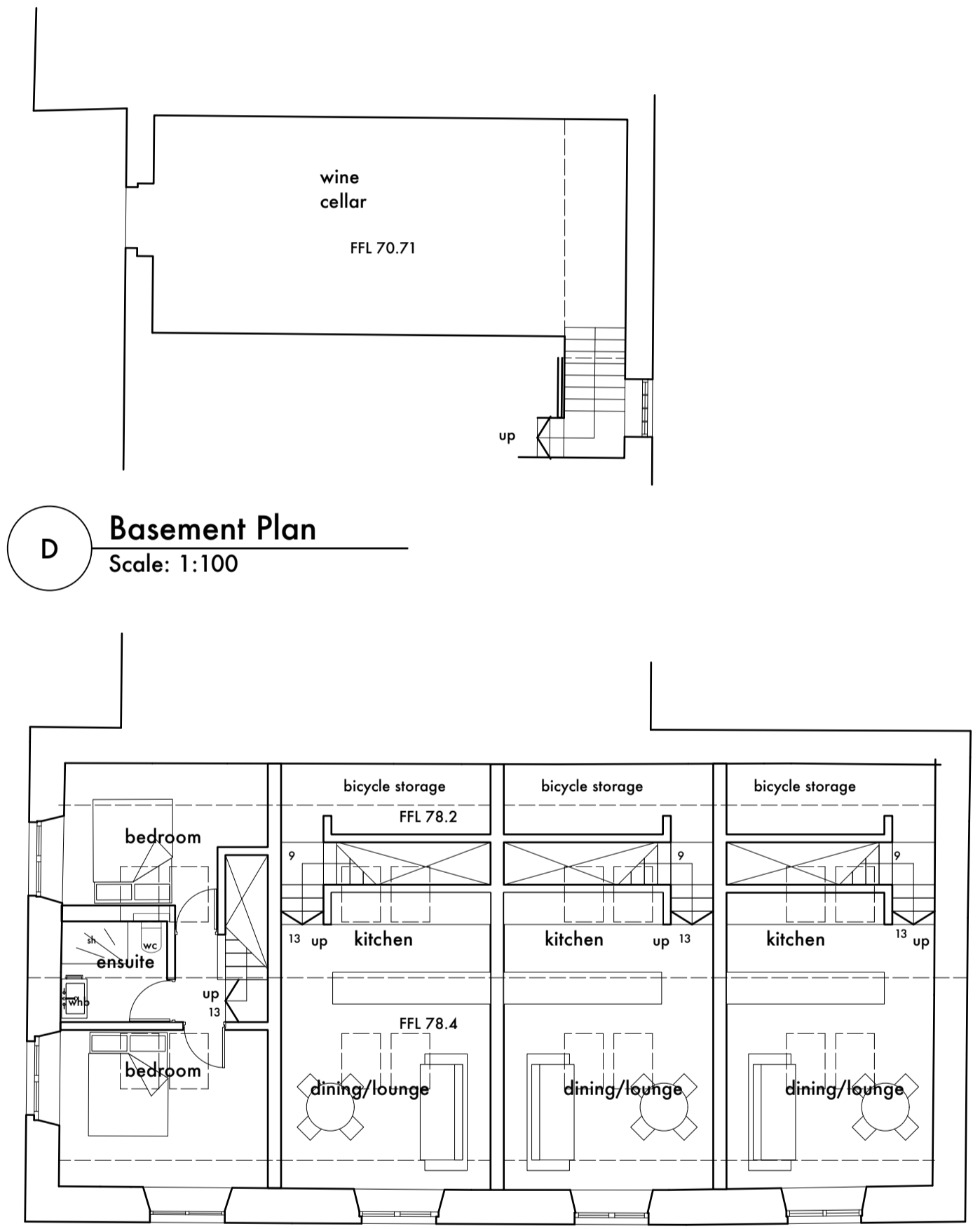
See PL04 for typical window details, mezzanine floor and dividing wall construction.



**A Ground Floor Plan**  
Scale: 1:100



**B First Floor Plan**  
Scale: 1:100



**C Mezzanine Plan**  
Scale: 1:100

**D Basement Plan**  
Scale: 1:100



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project number: **45 - 47 Whalley Road**  
2431

name: **proposed plans**

scale: 1 to 100 @ A1 date: february 2025 status: planning revision: D

drawing number: **PL02**