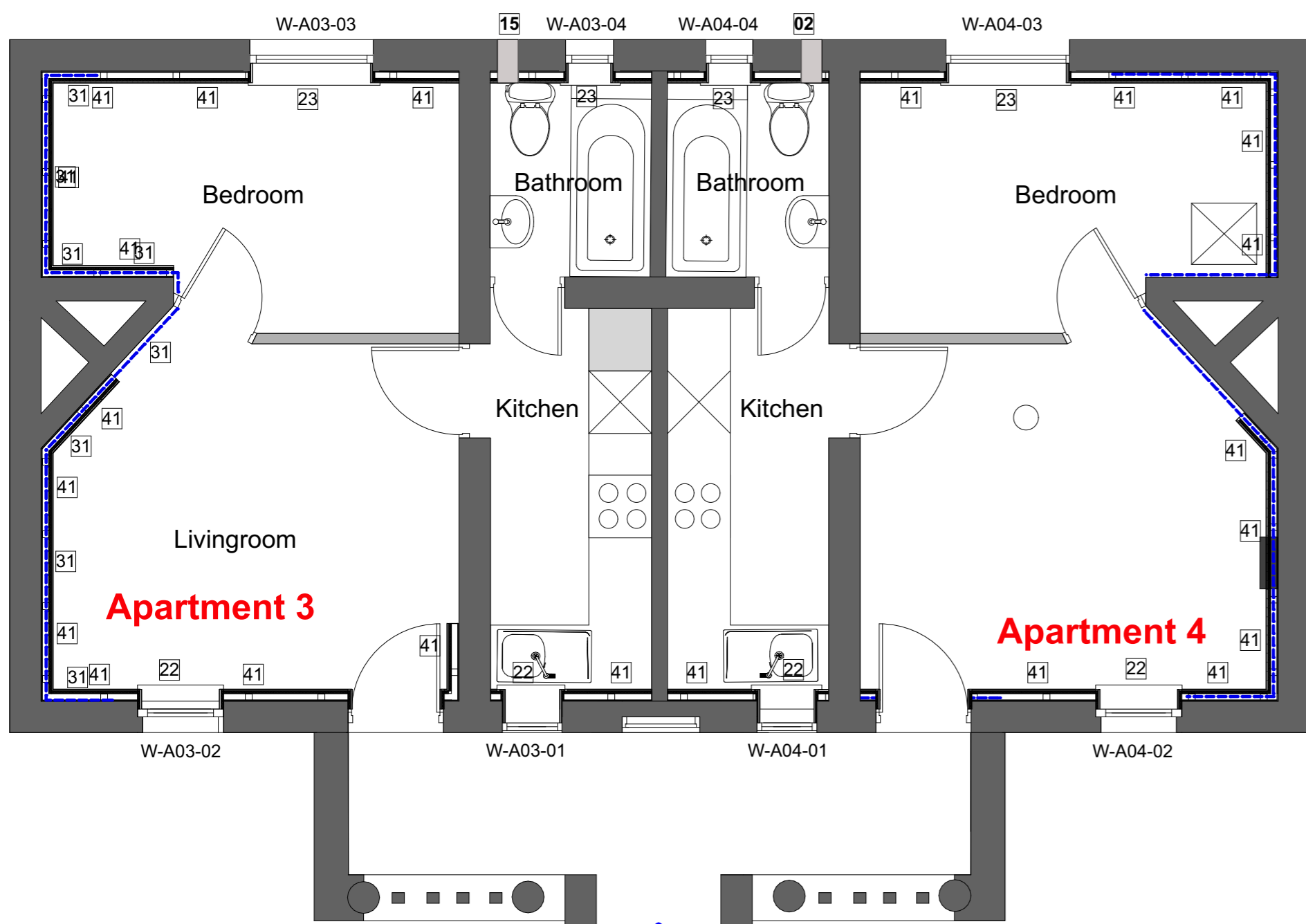


ROOF

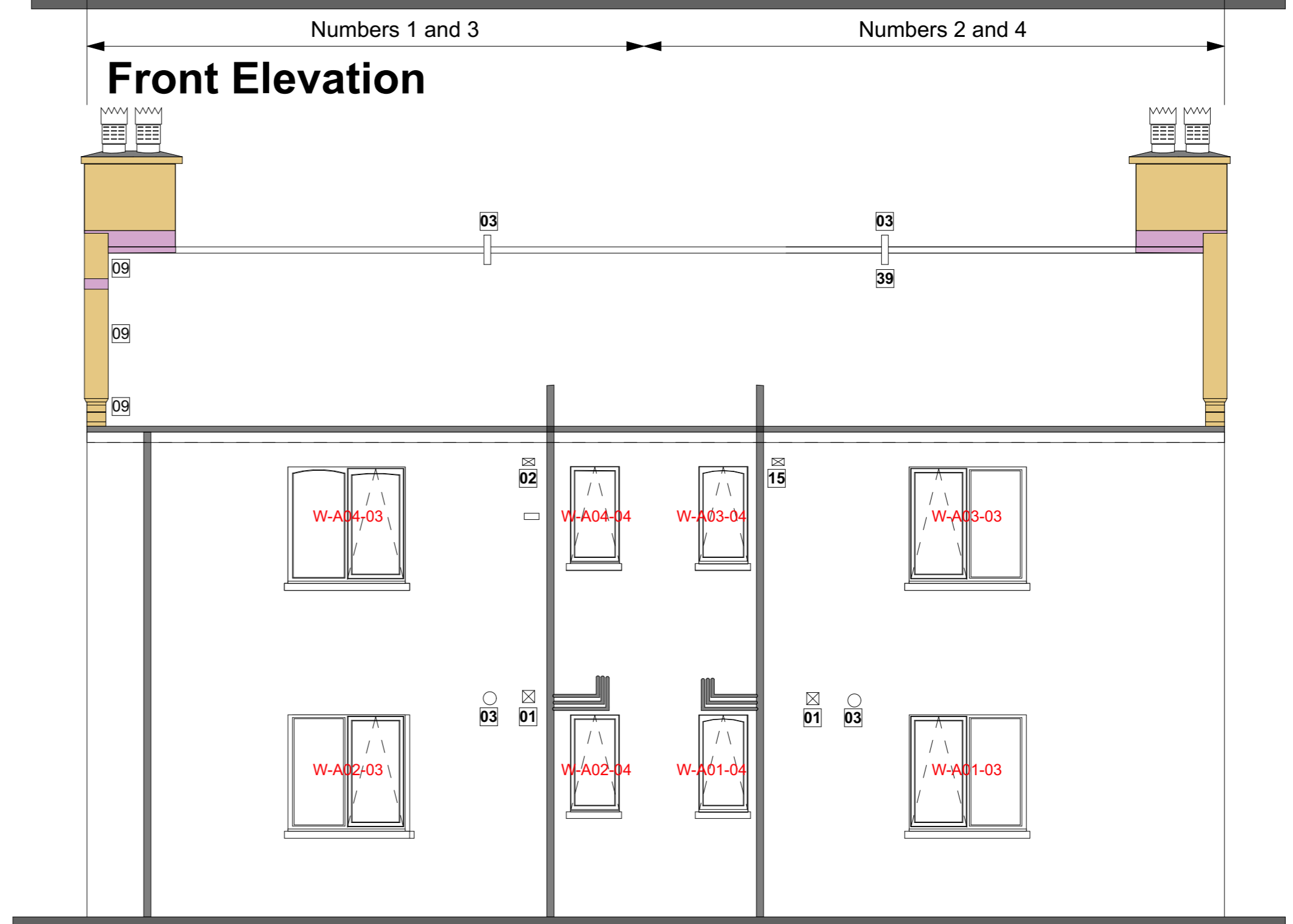


Front Elevation

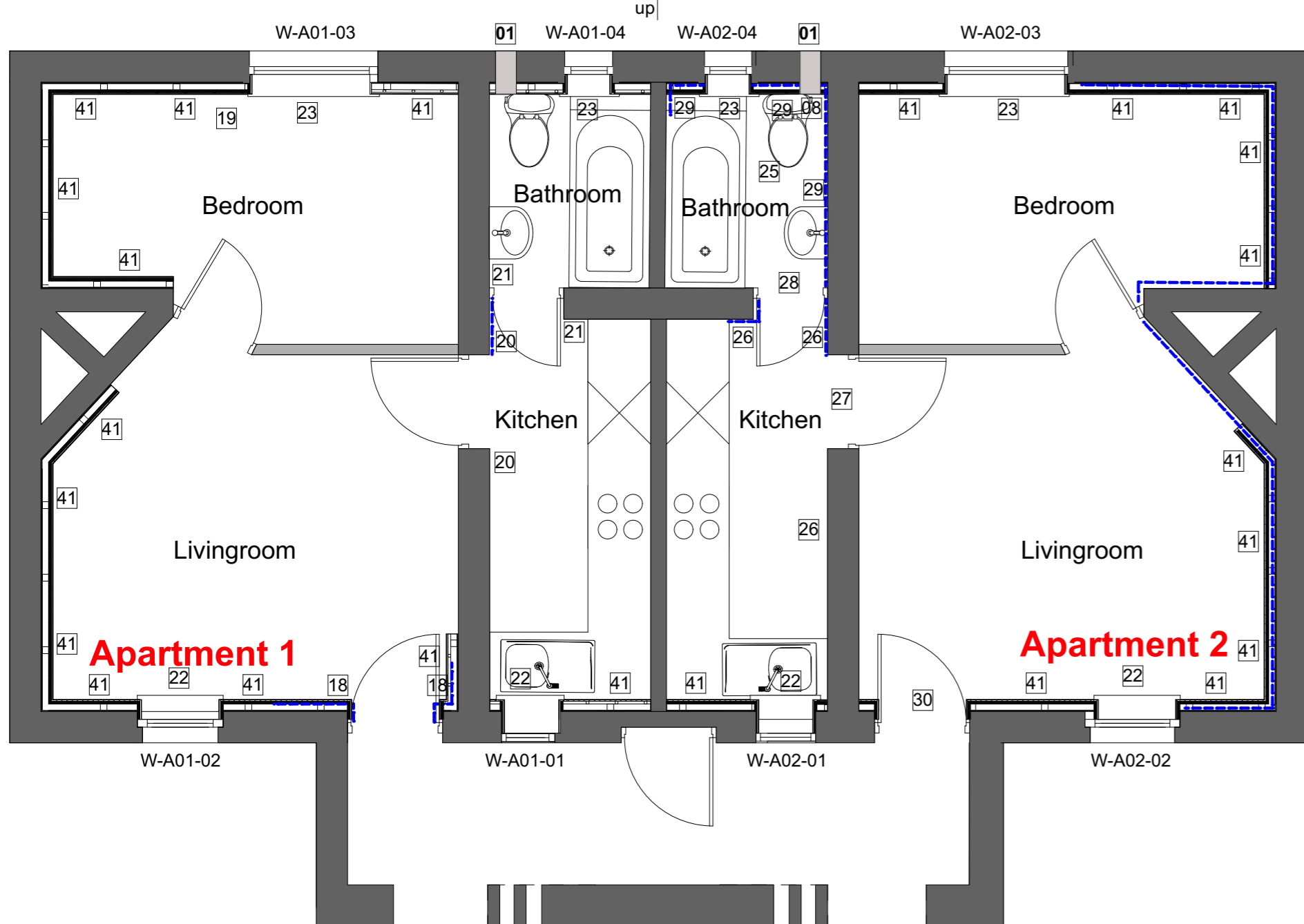


FIRST FLOOR

NOTE:
 2 SEPERATE PLANNING/ LISTED BUILDING CONSENT APPLICATIONS HAVE BEEN SUBMITTED ONE WITH INTERNAL WALL INSULATION AND THE OTHER WITHOUT. THIS DRAWING INCLUDED INTERNAL WALL INSULATION. BEFORE PROCEEDING WITH INTERNAL WALL INSULATION ALL PARTIES MUST VERIFY THAT LISTED BUILDING CONSENT HAS BEEN GRANTED IN CONNECTION WITH INTERNAL WALL INSULATION



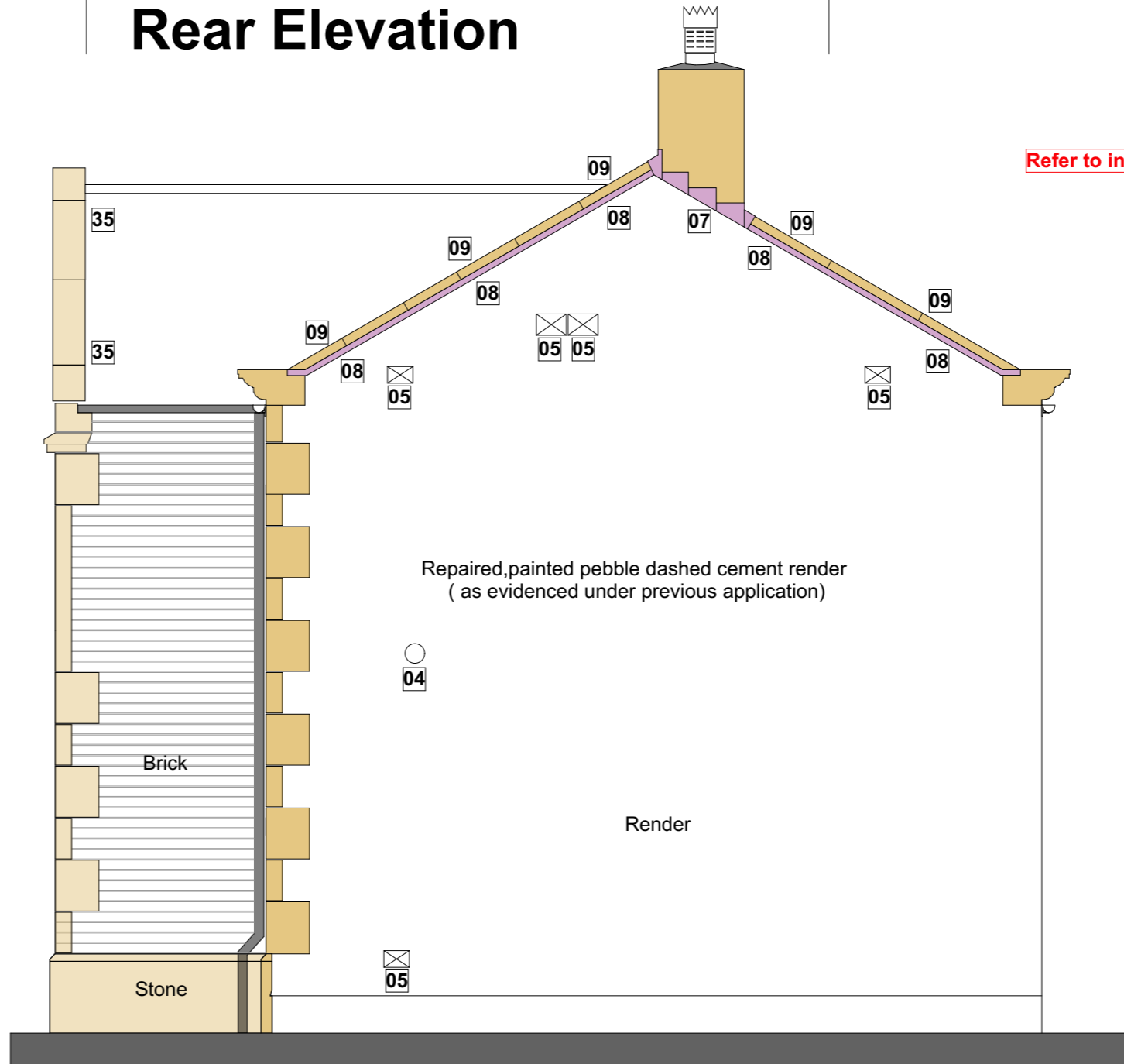
Rear Elevation



GROUND FLOOR

Note Listed building consent and planning application relates to apartments 1,2,3 and 4. Apartment 4 works (except replacement windows) was approved under listed building consent 3/2022/1159 dated 19 July 2023.

Number 1 and 3 Gable Elevation



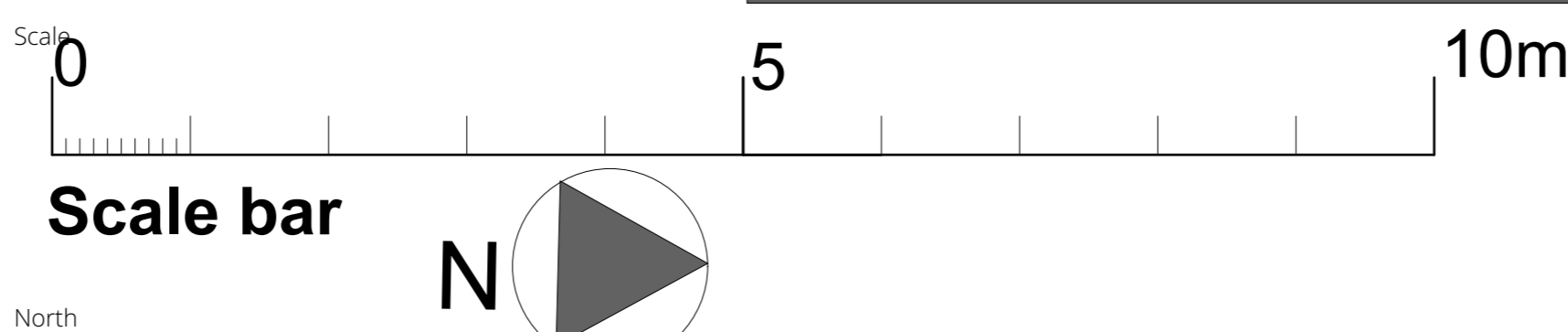
Numbers 2 and 4 Gable Elevation

Refer to internal works drawing for further notes on required work

- 01 Existing extract fan position
- 02 Extract vented through air brick to apartment number 4 as approved under previous listed building consent.
- 03 Existing boiler flue position
- 04 Existing gas fire flue position
- 05 Existing air vent
- 06 Existing light
- 07 Lead flashings to chimney, apply patination oil (Flats 2/4 gable) as approved under previous listed building consent application.
- 08 Lead flashings laid under coping and dressed down wall to protect upper edge of render, apply patination oil (Flats 2/4 gable) as approved under previous application.
- 09 Stone copings repaired, re-bed, fitted with stainless steel angle supports and pointed in lime mortar (Gable of 2/4) as approved under previous listed building consent application.
Note stone coping repair subject to listed building condition.
 Check adequacy of existing lead soakers and where required repair/replace, note particularly around stone kneeler where lead can not be seen to ensure building is fully weathertight.
- 10 Copings carefully taken off, set aside, protected from damage and theft, new lead flashing laid under coping and returned down gable to protect upper edge of render, apply patination oil.
- 11 Coping edges squared off and new section of matching stone coping provided as required, re-bed, re-pointed in position supported using galvanised steel angles
 Check adequacy of existing lead soakers and where required repair/replace and re-point in lime mortar, note particularly around stone kneeler where lead can not be seen to ensure building is fully weathertight.
- 12 New lead flashings to chimney
- 13 Render cracks repaired and gable decorated.
- 14 Exposed brickwork to be carefully raked out and re-pointed using lime mortar.
- 15 Fit new extract fan venting through terracotta air brick to flat 3 as approved to flat 4 under previous listed building consent. Note extract fans are already fitted to flats 1 and 2

Rev.	Date	Description	Drawn

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Offices at: Liverpool & Nottingham	Drawing Title: PROPOSED FLOOR PLANS AND ELEVATIONS WITH IWI
Halsall Lloyd Partnership	Project: Number 1-4, Almhouses, Stydd lane, Ribchester, PR3 3YQ
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Post Code: L1 5AG	First Issue Date: 05/06/24
Issuing Office: Liverpool	Tel: 0151 708 8944
Website: www.hlpsdesign.com	Job Number / Draw. No. / Revision: 3184_L_04_V01
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	Revision: [2] - PLANNING

