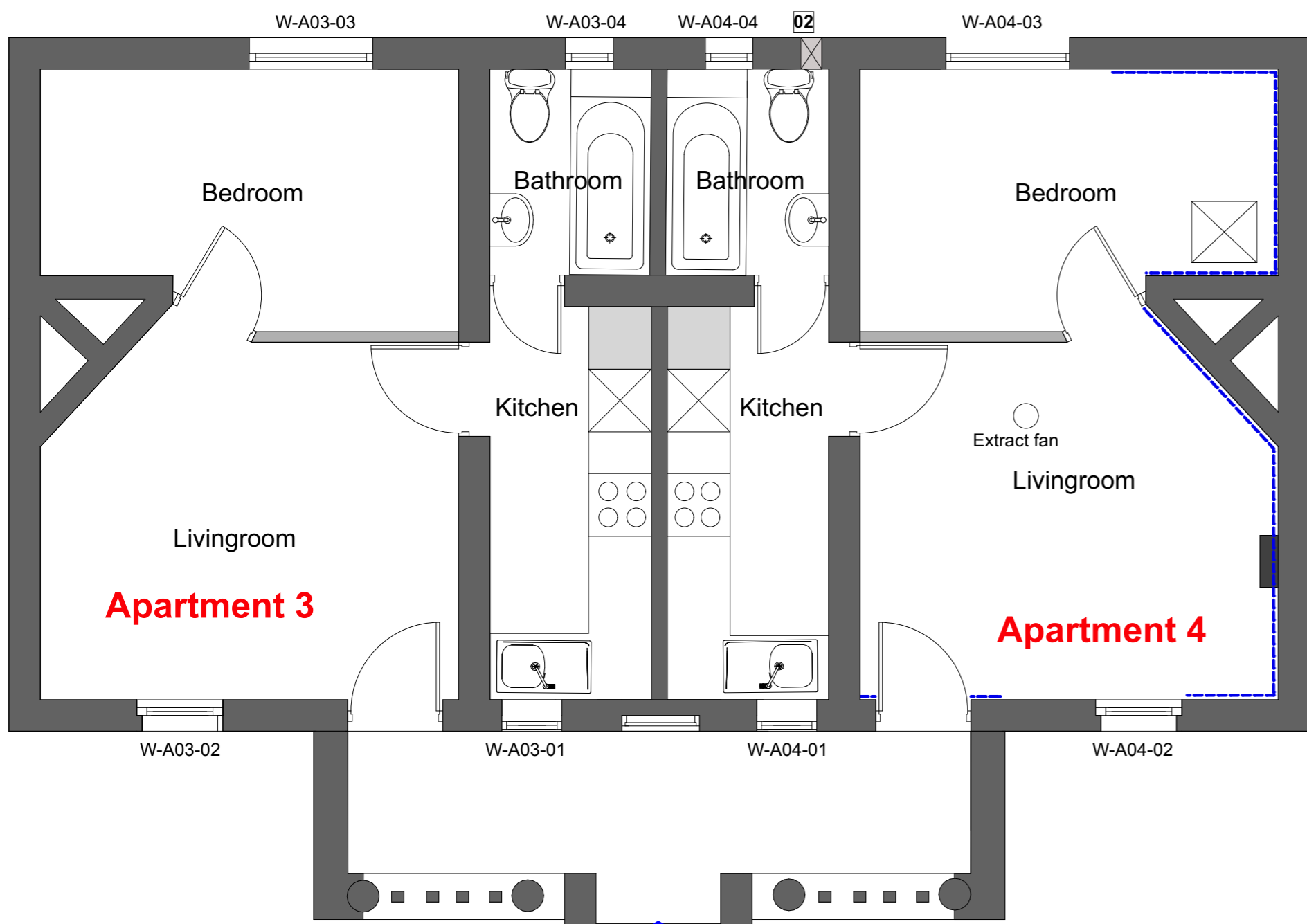
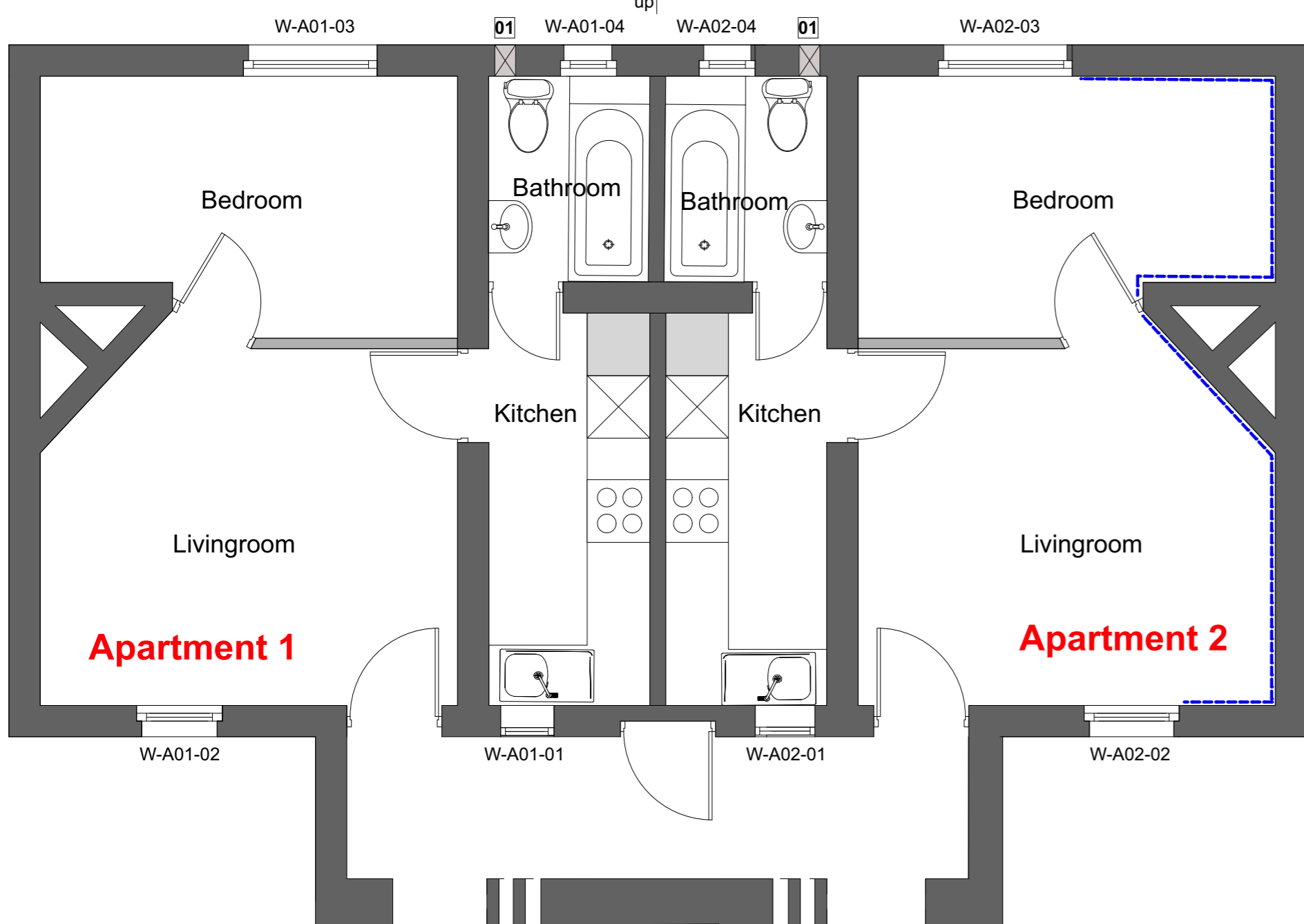


ROOF



FIRST FLOOR



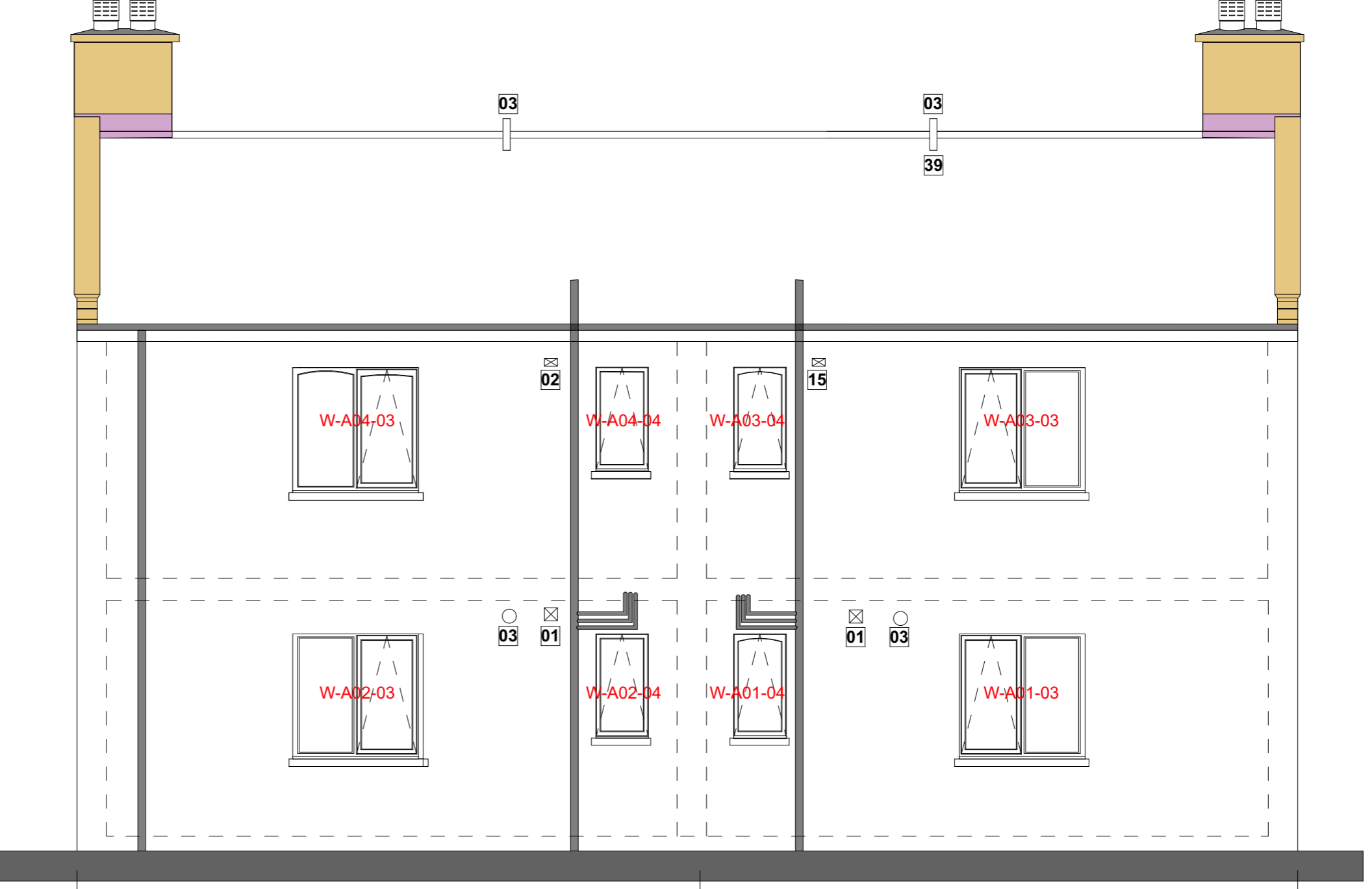
GROUND FLOOR

**Note** Listed building consent and planning application relates to apartments 1,2,3 and 4. Apartment 4 works (except replacement windows) was approved under listed building consent 3/2022/1159 dated 19 July 2023.

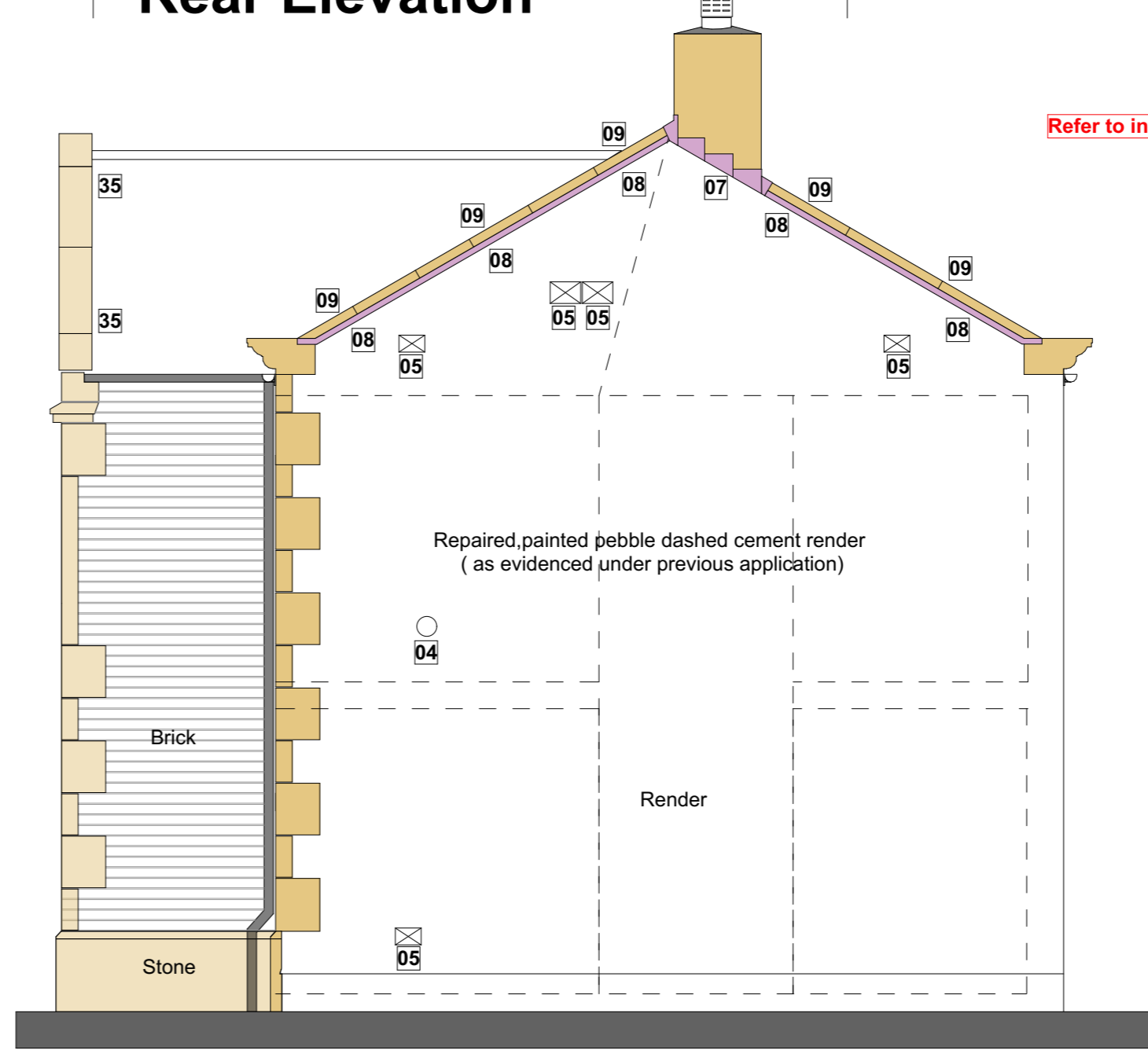
Number 1 and 3 Gable Elevation



Front Elevation

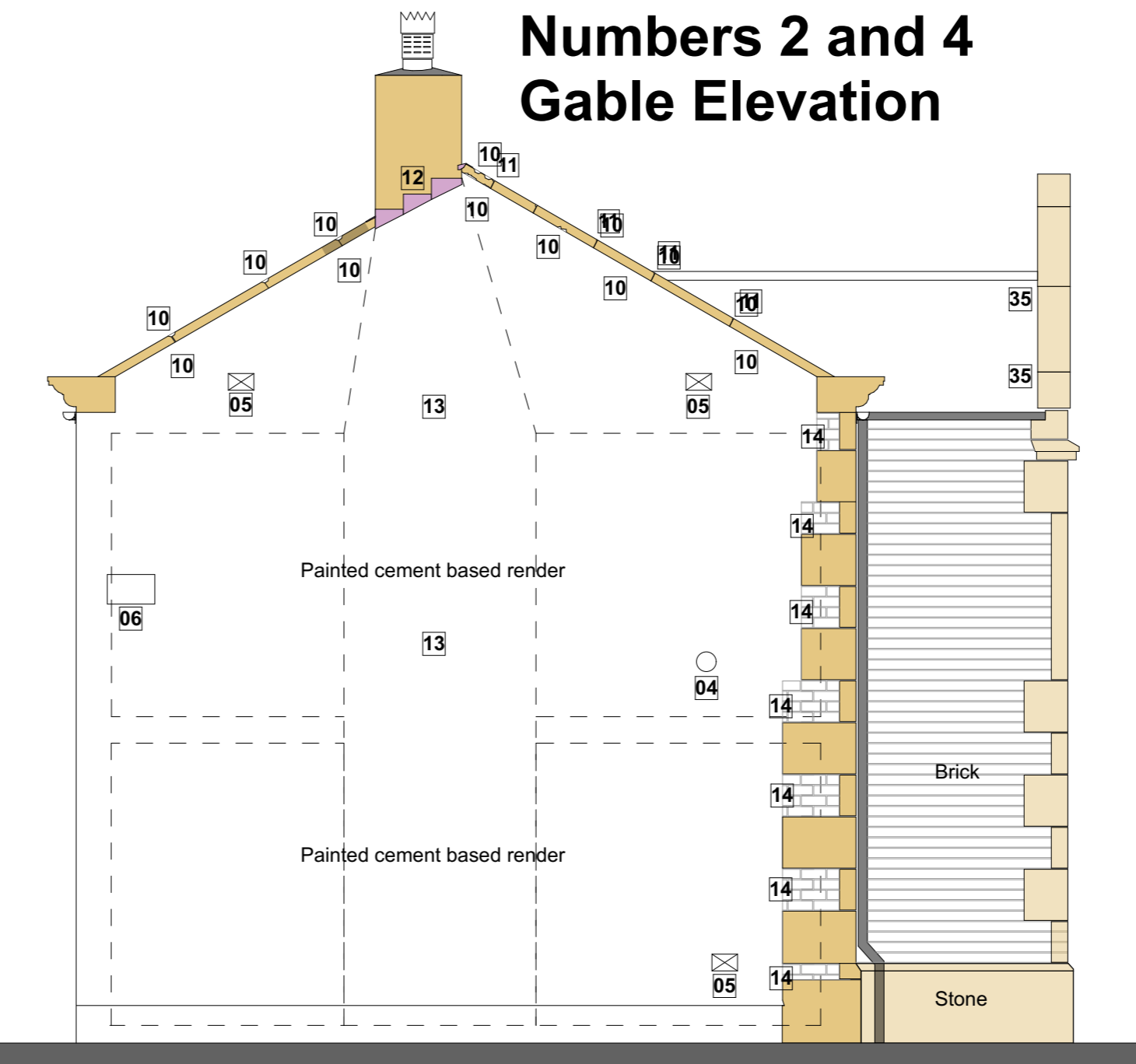


Rear Elevation



Refer to internal works drawing for further notes on required work

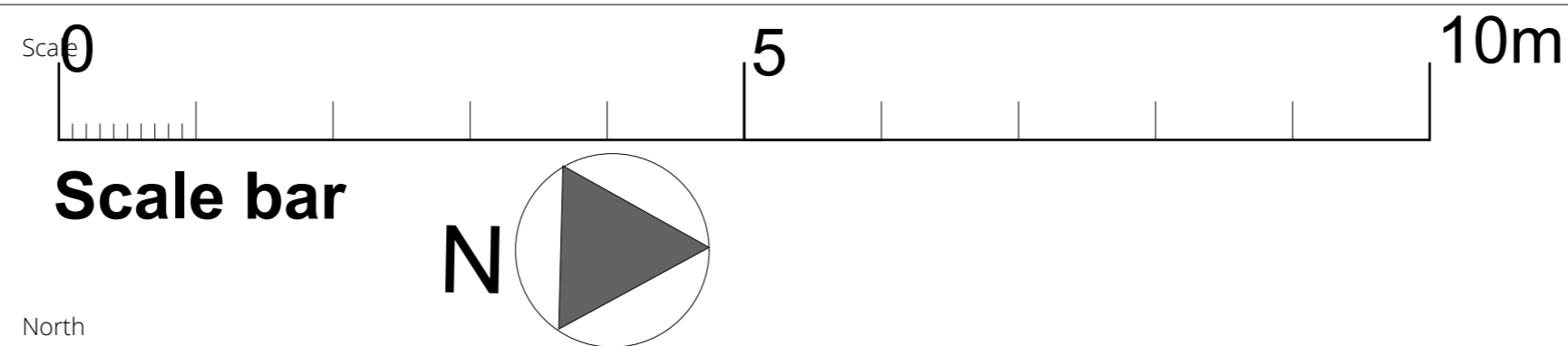
- 01 Existing extract fan position
- 02 Extract vented through air brick to apartment number 4 as approved under previous listed building consent.
- 03 Existing boiler flue position
- 04 Existing gas fire flue position
- 05 Existing air vent
- 06 Existing light
- 07 Lead flashings to chimney, apply patination oil (Flats 2/4 gable) as approved under previous listed building consent application.
- 08 Lead flashings laid under coping and dressed down wall to protect upper edge of render, apply patination oil (Flats 2/4 gable) as approved under previous application.
- 09 Stone copings repaired, re-bed, fitted with stainless steel angle supports and pointed in lime mortar (Gable of 2/4) as approved under previous listed building consent application.
- Note** stone coping repair subject to listed building condition.
- Check adequacy of existing lead soakers and where required repair/replace, note particularly around stone kneeler where lead can not be seen to ensure building is fully weathertight.
- 10 Existing copings cracked and perished in areas, allowing moisture to seep behind render, cracking render and causing penetrating damp within flats 1 and 3



Number 1 and 3 Gable Elevation

Rev.	Date	Description	Drawn

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Offices at: Liverpool & Nottingham Halsall Lloyd Partnership Address: 98 Duke Street Post Code: L1 5AG Issuing Office: Liverpool Tel: 0151 708 8944 Website: www.hlpdesign.com	Drawing Title: EXISTING FLOOR PLANS AND ELEVATIONS Project: Number 1-4, Almhouses, Stydd lane, Ribchester, PR3 3YQ Client: Your Housing Group Scales @ A1: 1:50 First Issue Date: 31/05/2024 Job Number / Dwg. No. / Revision: 3184_L_01_R01_V01 [ 2 ] - PRELIMINARY RIBA Stage - Drawing Status: Drawn: BMC, Check: GL	
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