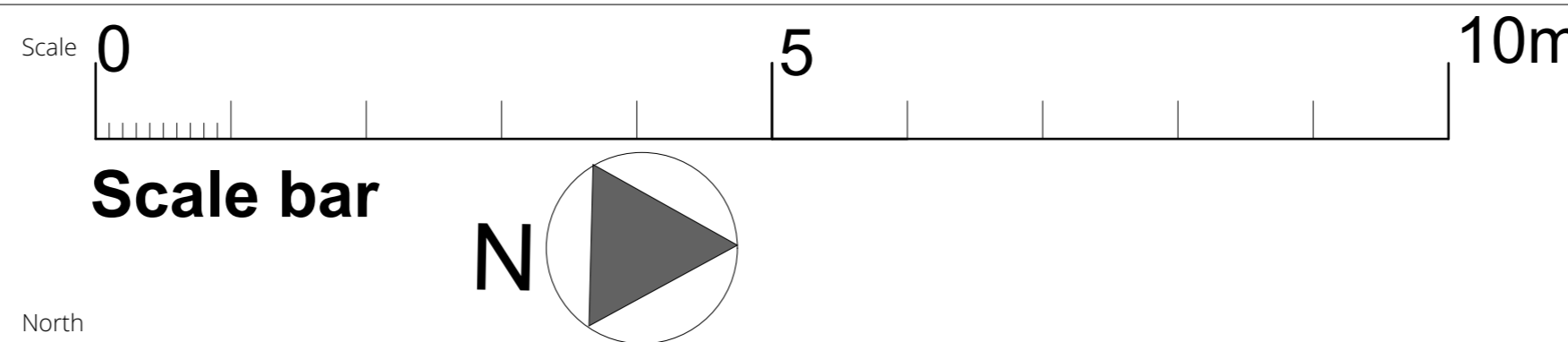


Refer to internal works drawing for further notes on required work

- 01 Existing extract fan position
- 02 Extract vented through air brick to apartment number 4 as approved under previous listed building consent.
- 03 Existing boiler flue position
- 04 Existing gas fire flue position
- 05 Existing air vent
- 06 Existing light
- 07 Lead flashings to chimney, apply patination oil (Flats 2/4 gable) as approved under previous listed building consent application.
- 08 Lead flashings laid under coping and dressed down wall to protect upper edge of render, apply patination oil (Flats 2/4 gable) as approved under previous application.
- 09 Stone copings repaired, re-bed, fitted with stainless steel angle supports and pointed in lime mortar (Gable of 2/4) as approved under previous listed building consent application.
Note stone coping repair subject to listed building condition.
Check adequacy of existing lead soakers and where required repair/replace, note particularly around stone kneeler where lead can not be seen to ensure building is fully weathertight.
- 10 Copings carefully taken off, set aside, protected from damage and theft, new lead flashing laid under coping and returned down gable to protect upper edge of render, apply patination oil.
- 11 Coping edges squared off and new section of matching stone coping provided as required, re-bed, re-pointed in position supported using galvanised steel angles
Check adequacy of existing lead soakers and where required repair/replace and note particularly around stone kneeler where lead can not be seen to ensure building is fully weathertight.
- 12 New lead flashings to chimney
- 13 Render cracks repaired and gable decorated.
- 14 Exposed brickwork to be carefully raked out and re-pointed using lime mortar.
- 15 Fit new extract fan venting through terracotta air brick to flat 3 as approved to flat 4 under previous listed building consent. Note extract fans are already fitted to flats 1 and 2

Rev.	Date	Description	Drawn

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Offices at: Liverpool & Nottingham Halsall Lloyd Partnership Address: 98 Duke Street Post Code: L1 5AG Issuing Office: Liverpool Tel: 0151 708 8944 Website: www.hlpsdesign.com	Drawing Title: PROPOSED FLOOR PLANS AND ELEVATIONS Project: Number 1-4, Almhouses, Stydd Lane, Ribchester, PR3 3YQ Client: Your Housing Group Scales @ A1: 1:50 First Issue Date: 31/05/2024 Job Number / Dwg. No. / Revision: 3184_L_02_V01 [2] - PRELIMINARY RIBA Stage: Drawing Status Drawn: BMC Check: GL	
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