

Materials Condition Statement - Lower Reaps Farm, Whinney Lane, BB2 7EL

This short statement has been prepared to support the 'approval of details reserved by a condition' application at the above address.

The site received planning permission (ref.3/2025/0507) and listed building consent (ref.3/2025/0508) from Ribble Valley Borough Council for the 'conversion of barn to create new dwelling.'

As part of the approvals, several conditions were attached and this statement relates to condition no.3 which states: -

"Notwithstanding the submitted plans, the following details, including samples, shall be submitted to and approved in writing by the Local Planning Authority before their use in the proposed development:

- Details of windows, doors and openings to be in-filled including reveals;*
- Details of windows, doors and openings to be created;*
- 1m x 1m sample panel showing the coursing, stone used and pointing for the re-build of external walls. The name of the stone (if any additional is required) should be provided along with the pointing mix.*
- Details of roofing materials;*
- Details of external and internal floor surfaces (including colour and texture); and*
- Details of rainwater goods (cast iron or aluminium heritage style in black).*
- Sample of boundary treatments*

The approved materials shall be implemented within the development in strict accordance with the approved details."

The following pages provide details in relation to the materiality of the scheme. The photographs provided below and overleaf relate to samples of these materials - physical samples can be made available on site on request.

Windows:

- hardwood frames as specified to drg.no.24.50/dis.20



Doors:

- hardwood painted doors
- finish to match hardwood windows



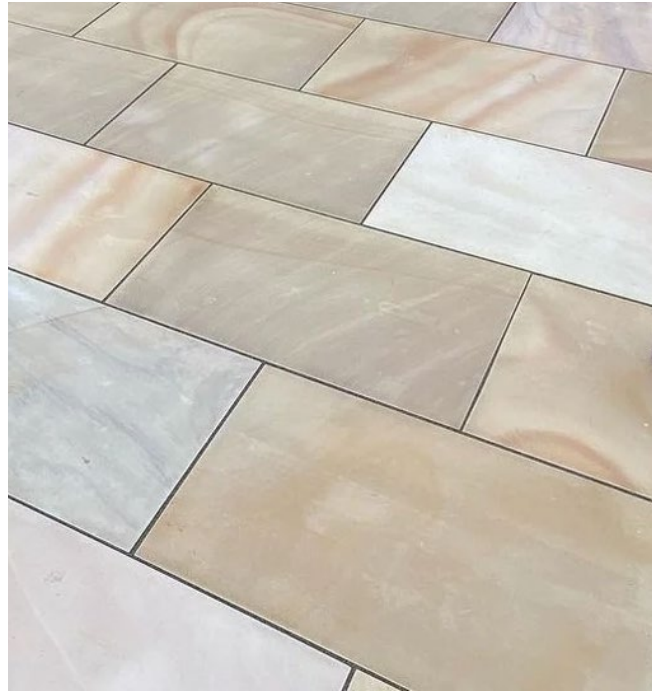
Walling stone and mortar:

- stonework to match existing.
 - reuse and repointing of existing stone.
 - any new stone to be locally sourced reclaimed
 - stone to match the context.
- a 1m x 1m sample panel showing the coursing, stone used and pointing for the rebuild of external walls shall be built on site and made available for inspection/approval by the local authority.



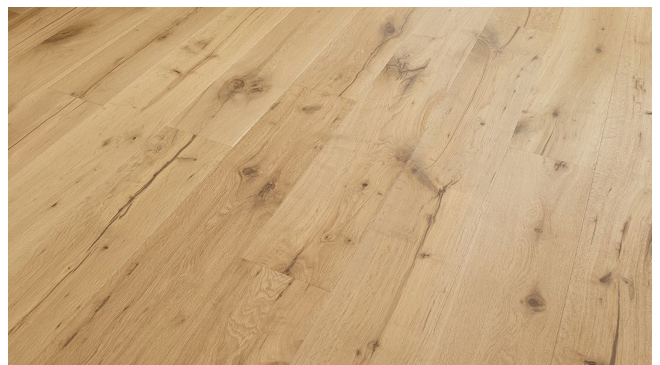
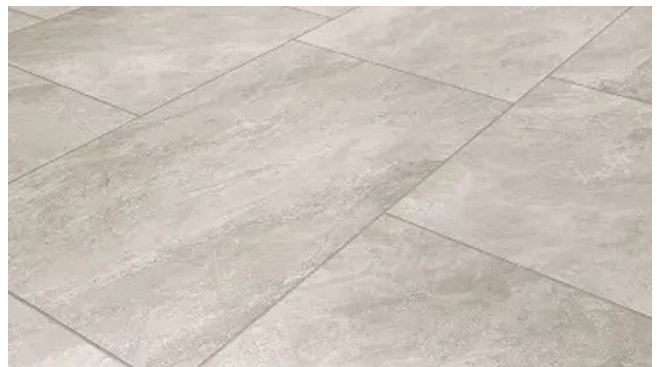
External floor:

- sawn sandstone paving as specified to drg. no. 24.50/dis.20



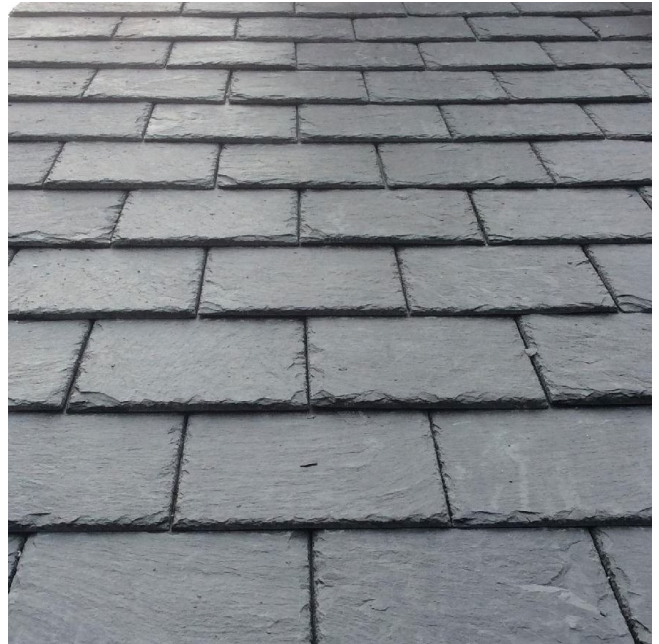
Internal flooring:

- internal flooring to be client's choice
- assumed porcelain tiles or engineered timber



Roof:

- blue/grey natural slate to suit locality
- slates to be UKCA marked which confirms they have been tested to BS EN 12326 and thus conform to the UK building regulations
- new slate to be grade T1 classification with low potential for oxidation. T1 is the highest grade of slates which contain minimal pyrite (substance prone to rust). As such, pose no risk of discolouration and the performance of the slate structure is unaffected.
- water absorption to be <math><0.3\%</math> to achieve W1 classification - reducing risk of swelling minerals, delamination and damage from freeze thaw cycles.



Rainwater goods:

- aluminium rainwater goods in heritage black as specified to drg. no. 24.50/dis.20



Natural stone wall:

- facing stone to match existing barn, wall
generally as specified to drg. no. 24.50/dis.21



Estate railings with strainer wire:

- as specified to drg. no. 24.50/dis.21

