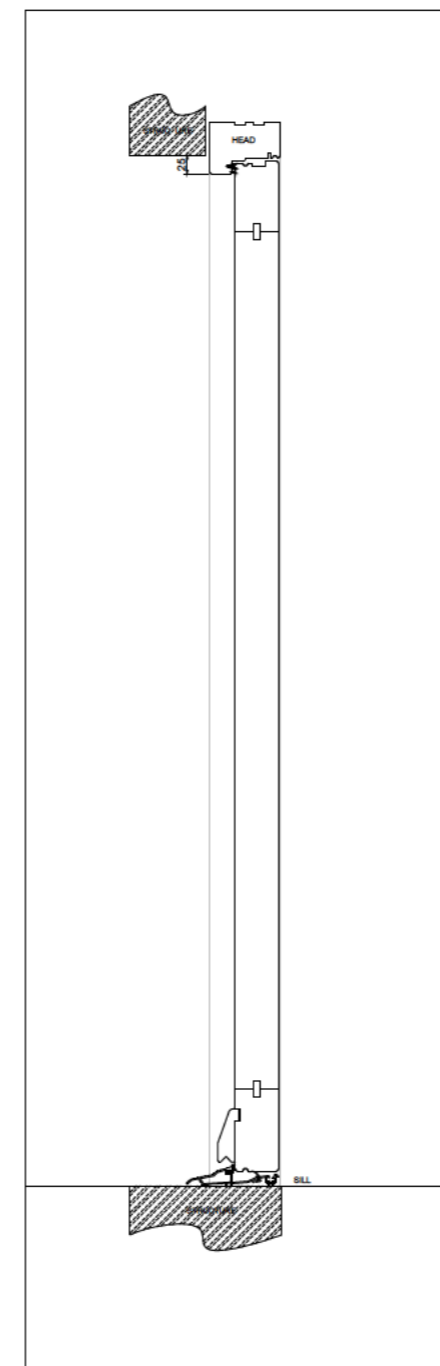




Door Section
Scale 1:10 @ A1



FRONT DOOR SPECIFICATION:

Replacement Front Door Specification
Material:

High-quality, sustainably sourced hardwood.

Timber shall be treated to resist rot, decay, and insect infestation.

Design:

The door shall replicate the original in style, size, and detailing, including: molding profiles, and raised/rebated features. Any existing decorative features, such as beading or carving, shall be reproduced. Bespoke traditionally constructed hardwood timber door with two quarter panels to the upper section and one half panel to the lower section. The door shall be constructed using traditional mortice-and-tenon joinery with solid timber panels. Proportions shall align with the historical character of the Grade II listed building.

Finish:

Painted in Olive Green Ral 6003 heritage color.

Paint shall be microporous to allow the timber to breathe while providing weather resistance. The finish shall be smooth and consistent, with no visible brush marks.

All door furniture (e.g., handles, letterbox, door knocker) shall be of traditional design and in keeping with the building's historic character. Materials will be Polished Brass.

Frame:

The door frame shall be hardwood, matching the door in material and finish. Frame profiles and moldings shall replicate the existing or be designed in keeping with the original aesthetic.

Threshold:

Weatherproofing shall be incorporated discreetly to maintain the aesthetic integrity.

Installation:

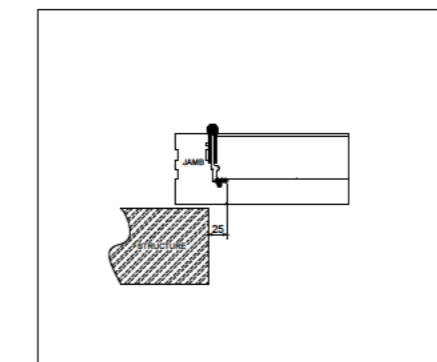
The door shall be installed using traditional joinery methods, ensuring minimal disturbance to the surrounding masonry and finishes. Any necessary repairs to the existing door surround or architrave shall be carried out using matching materials and methods.

Additional Considerations

Weatherproofing: The door must be fitted with concealed weather seals to improve thermal performance without compromising the heritage appearance.

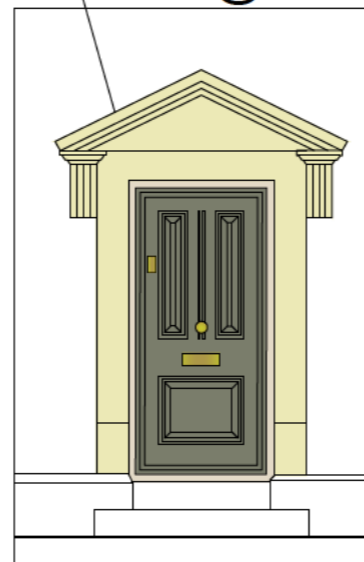
Workmanship: All work shall be carried out to the highest standard by craftsmen experienced in heritage and listed building projects.

Door Plan Section
Scale 1:10 @ A1

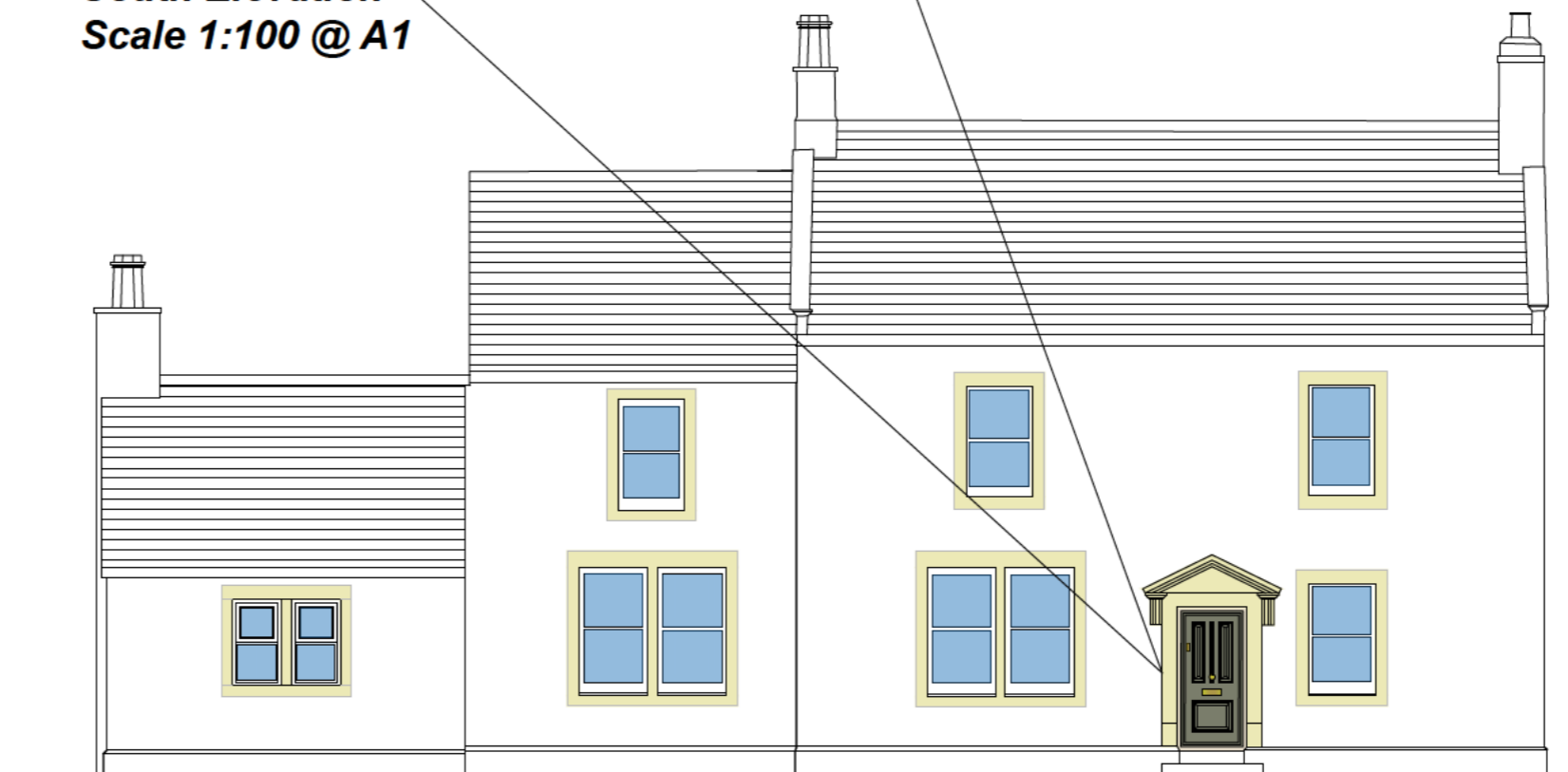


North East Elevation
Scale 1:100 @ A1

Proposed Elevation
Scale 1:50 @ A1



South Elevation
Scale 1:100 @ A1



Lime Pointing Specification – Listed Sandstone Building

All repointing shall be carried out using traditional lime mortar in accordance with BS 7913, Historic England guidance and SPAB principles. The mortar must always be softer and more permeable than the sandstone so that moisture can evaporate through the joints rather than the stone.

Before work begins, the existing mortar shall be examined and a small trial panel prepared to confirm colour, texture and joint finish.

All defective mortar shall be removed carefully using hand tools only. Power tools and grinders are not permitted. Mortar shall be raked out to a minimum depth of 25mm or 2.5 times the joint width, whichever is greater, and all dust and loose material brushed out without damaging the stone edges.

The replacement mortar shall be a natural hydraulic lime. NHL 2 shall be used on sheltered or moderately exposed elevations and NHL 3.5 only where exposure is high. The mortar shall be mixed with well-graded natural sharp sand to match the existing in colour and texture, at a ratio of approximately 1 part lime to 2–2.5 parts sand. No cement, waterproofers or additives shall be used.

Before pointing, the masonry shall be lightly dampened to prevent the sandstone drawing moisture too quickly from the new mortar. The lime mortar shall be firmly pressed into the joints in thin layers to ensure full compaction.

Joints shall be finished flush or slightly recessed to match the historic appearance and lightly brushed once the mortar has begun to set, avoiding smearing over the stone faces.

The work shall be protected from frost, rain, wind and strong sun using dampened hessian and breathable covers for at least seven days. No pointing shall be carried out when temperatures are below 5°C or frost is expected.

Cleaning shall be by soft brush and clean water only. No acids or chemical cleaners shall be used.

Notes:

All work is to be carried out to the latest current British standards Codes of Practice and recognised working practices.

All work and materials should comply with Health and Safety legislation.

All work and materials to be approved by the District Authority Planning & Building Control Officer.

All dimensions are in millimetres unless where explicitly shown otherwise.

The contractor should check and certify all dimensions as work proceeds and notify the architect of any discrepancies.

Do not scale off the drawings, if in doubt ask.

The designer is in no way liable for work undertaken prior to full Planning Consent and/or Building Regulations Approval

Title: Duke of York Inn,
Grindleton Brow,
Grindleton,
BB7 4QR.

Retrospective application for Render patching and lime re-pointing. Planning application to reinstate historic windows and replace front door.



BUILDING ELEMENTS LTD
Town Planning and Architecture

Duckpond Farm Cottage,
Moorgate Rd,
Barnoldswick,
Lancs, BB18 5SQ

Project No: Stans/04- Dwg 02

Drawn: DP

Client: Simon Stansfield

Date: 09/01/25

Scale: 1:100@A1
unless otherwise stated