

WINDOW SPECIFICATION:

Timber Window Specification for New and Existing Windows in Duke of York - Grade II Listed Building

General Requirements

- All works shall comply with the relevant building regulations and conservation requirements for Grade II listed buildings.
- The design, materials, and finishes shall be sympathetic to the historical and architectural character of the building.
- Work shall be carried out by experienced craftsmen skilled in traditional timber window construction and restoration techniques.

New Windows

- Type: Traditional timber sash windows.
- Material: High quality, sustainably sourced timber (e.g., hardwood or a suitable softwood treated for durability).
- Design:
 - Double-hung sash windows with slim-profile double-glazed units.
 - Glazing bars, proportions, and details to match the style of existing historic windows.
 - Horns and sash details to replicate traditional features where applicable.
- Glass:
 - Slim-profile double-glazed units with a maximum total thickness of 12mm, incorporating low-E glass.
 - Spacers shall be heritage-style (e.g., white or black to match existing glazing).
- Finish:
 - Painted in a heritage color (specific shade to be agreed with the conservation officer).
 - Paint shall be microporous to allow the timber to breathe and to enhance durability.
- Ironmongery:
 - Traditional style sash lifts, cords, and weights or balances where necessary.
 - Locks to be in a finish that complements the heritage aesthetic.
- Installation:
 - Frames shall be installed with traditional methods, ensuring minimal disturbance to surrounding masonry or finishes.

Existing Windows

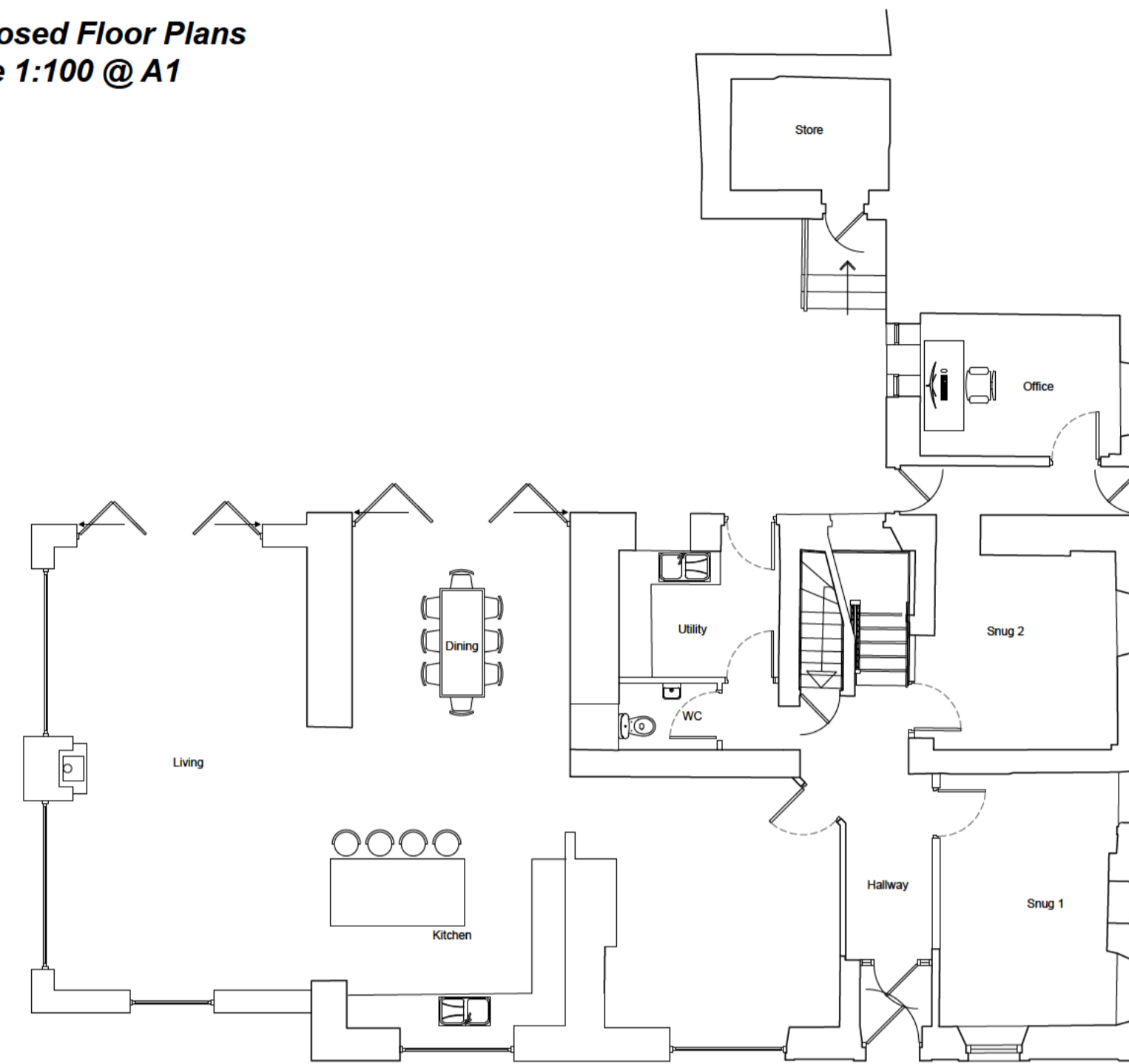
- Repair and Restoration:
 - Existing timber windows shall be repaired where possible to preserve the original fabric of the building.
 - Works may include:
 - Reglazing with single glass panes where damaged.
 - Repairs to timber components (sashes, frames, and cills) using spliced timber or resin as necessary.
 - Overhauling of sash mechanisms, including replacement of sash cords, pulleys, and weights.
 - Weatherstripping to improve draught-proofing where feasible and appropriate.
- Replacement (if Necessary):
 - Any replacement windows must exactly replicate the existing in terms of style, dimensions, and proportions.
 - Glazing (single glazing only).
 - Glazing bars, horns, and other detailing.
 - The new windows shall use high-quality, sustainably sourced timber.
- Finish:
 - All existing and replacement windows shall be painted in a heritage color (specific shade to be agreed with the conservation officer).
 - Paint shall be microporous to enhance durability and appearance.

Additional Considerations
 Conservation Oversight: All specifications and works to be reviewed and approved by the local authority's conservation officer before commencement.
 Ventilation: Ensure adequate ventilation without compromising the heritage character of the windows (e.g., discreet trickle vents where acceptable).
 Workmanship: All joints, glazing, and finishes shall be carried out to the highest standard to ensure longevity and aesthetic compatibility with the listed building.

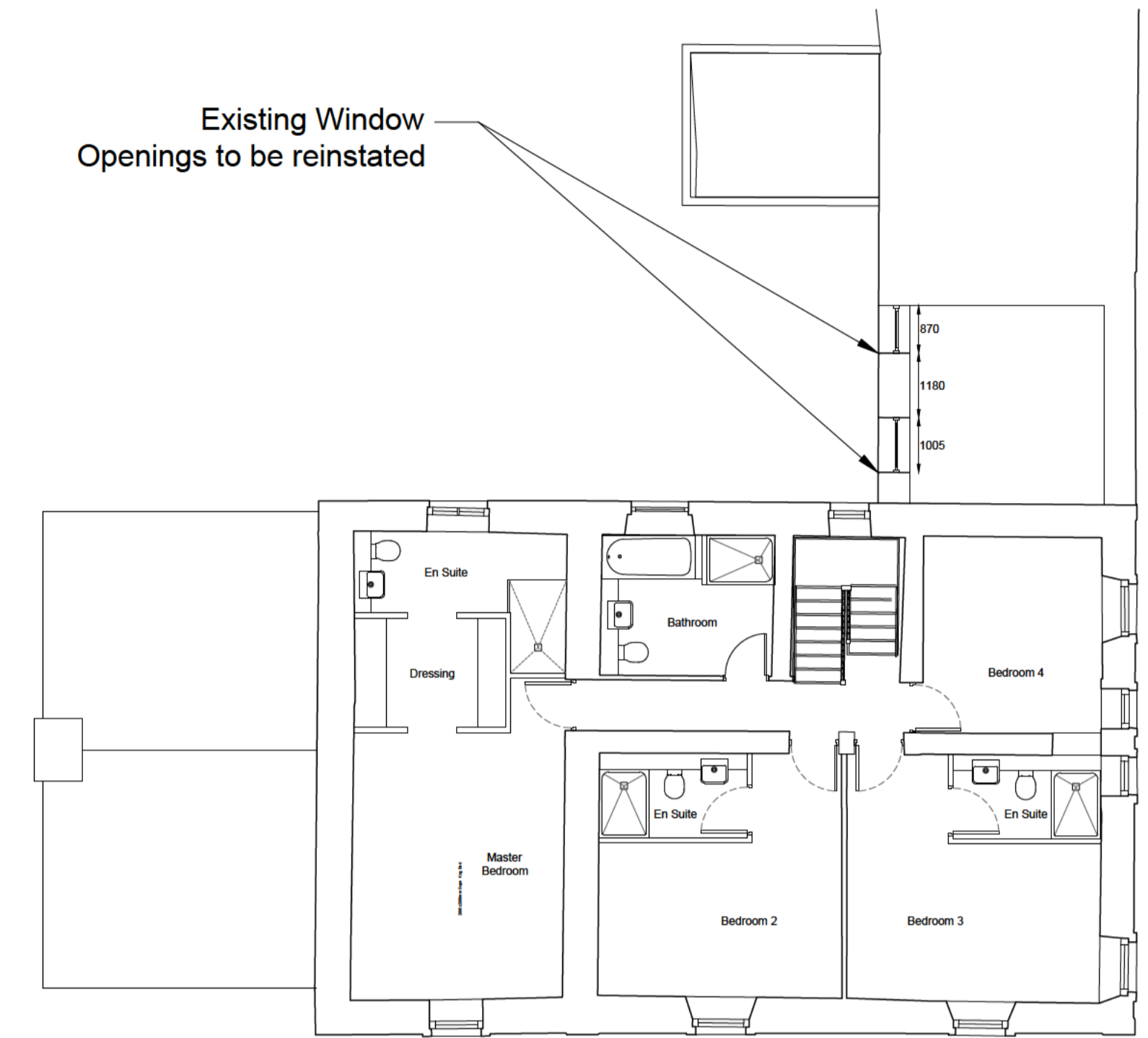


Representative Window Image

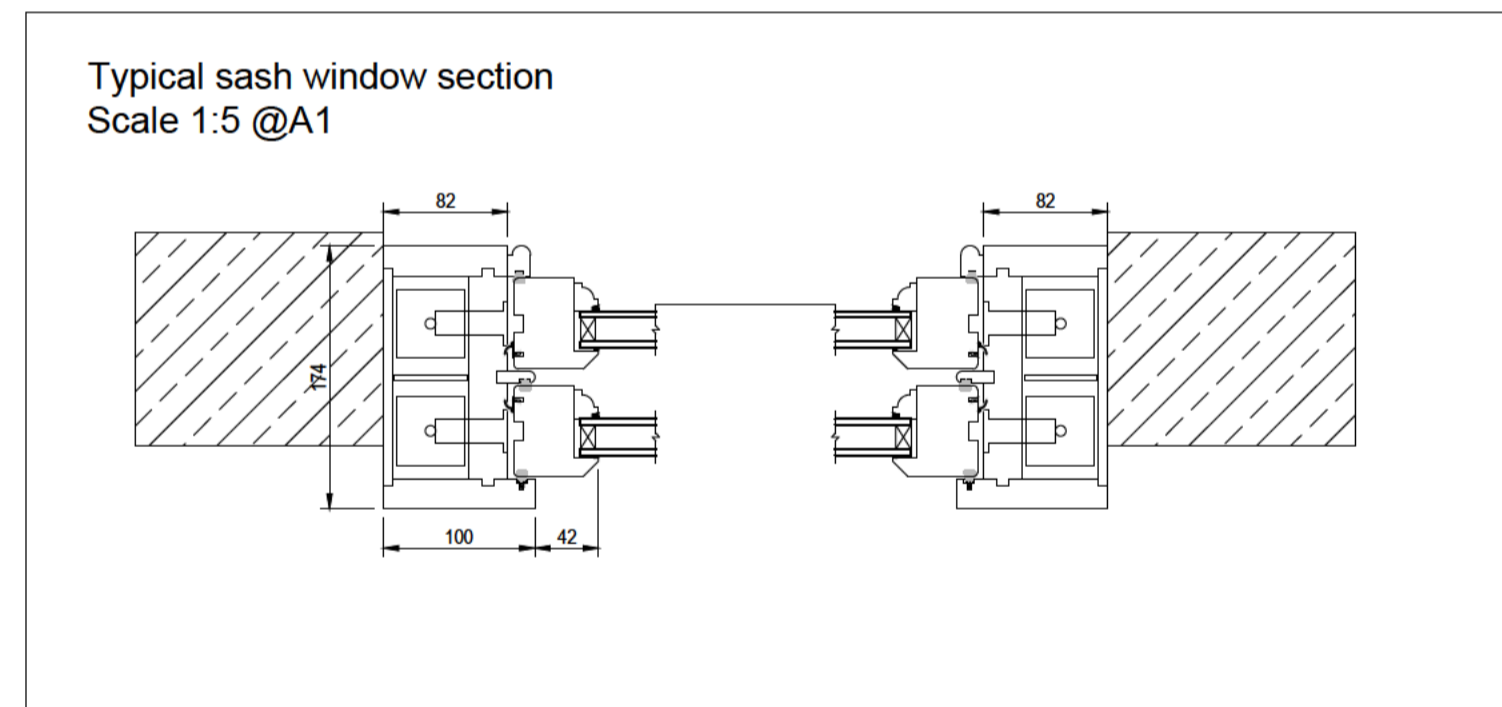
**Proposed Floor Plans
Scale 1:100 @ A1**



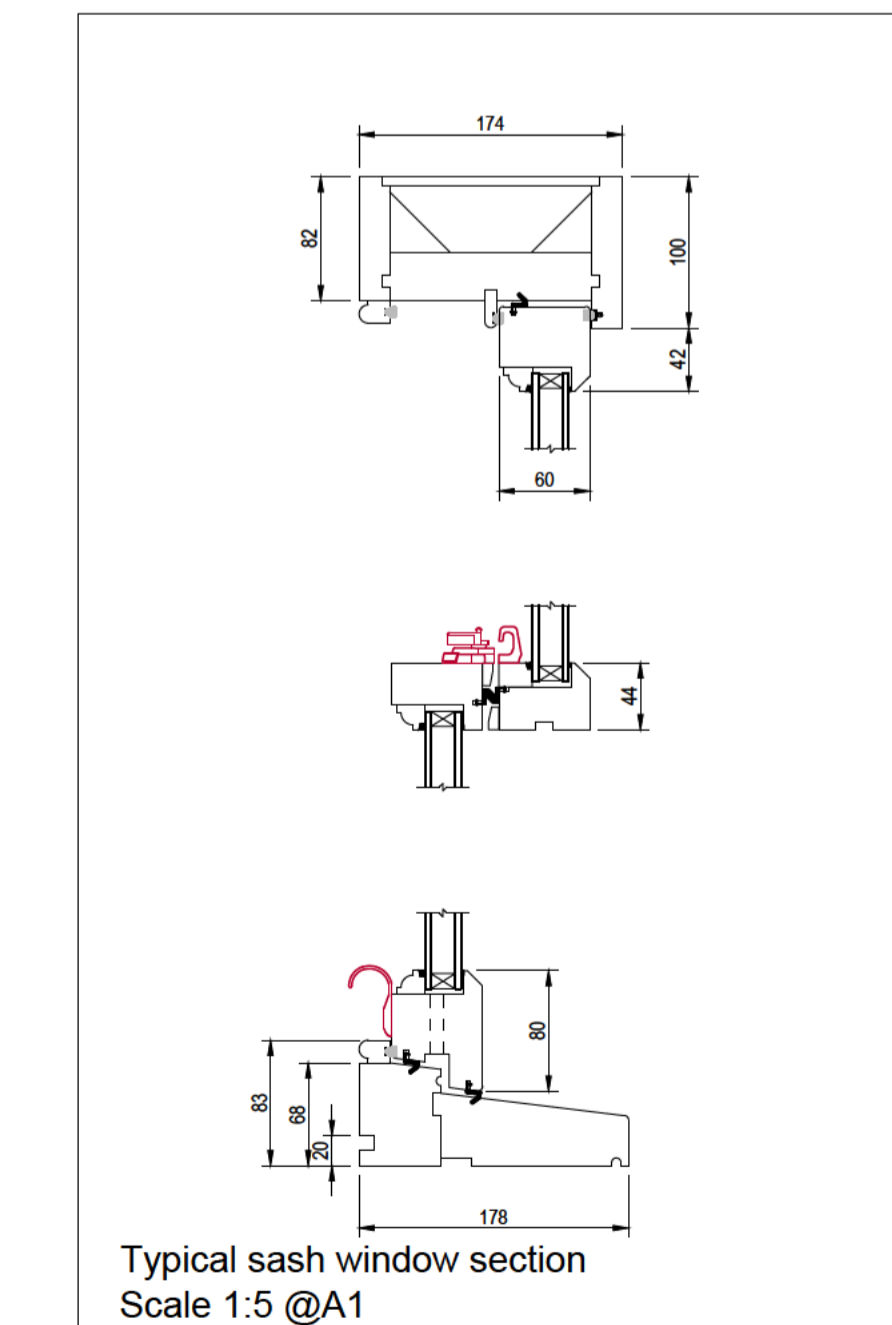
Proposed Ground Floor Plan Scale 1:100



Proposed First Floor Plan Scale 1:100



**Typical sash window section
Scale 1:5 @A1**



**Typical sash window section
Scale 1:5 @A1**

Previous openings which can be clearly seen



Image of Existing Wall



**Proposed South West Elevation
Scale 1:100 @ A1**

Existing render which has been patched

Notes:
 All work is to be carried out to the latest current British standards Codes of Practice and recognised working practices.
 All work and materials should comply with Health and Safety legislation.
 All work and materials to be approved by the District Authority Planning & Building Control Officer.
 All dimensions are in millimetres unless where explicitly shown otherwise.
 The contractor should check and certify all dimensions as work proceeds and notify the architect of any discrepancies.
 Do not scale off the drawings, if in doubt ask.
 The designer is in no way liable for work undertaken prior to full Planning Consent and/or Building Regulations Approval.

Title: Duke of York Inn, Grindleton Brow, Grindleton, BB7 4QR.

Retrospective application for Render patching and lime re-pointing. Planning application to reinstate historic windows

BUILDING ELEMENTS LTD
Town Planning and Architecture

Project No: Stans/04- Dwg 01 Drawn: DP

Client: Simon Stansfield

Date: 09/01/25 Scale: 1:100@A1 unless otherwise stated