

- where historic internal openings are noted to be blocked up - faces to be set back 50mm to allow openings to remain visible/interpretable. openings to be infilled with like for like materials (i.e. walls remaining exposed to be infilled with random stonework).

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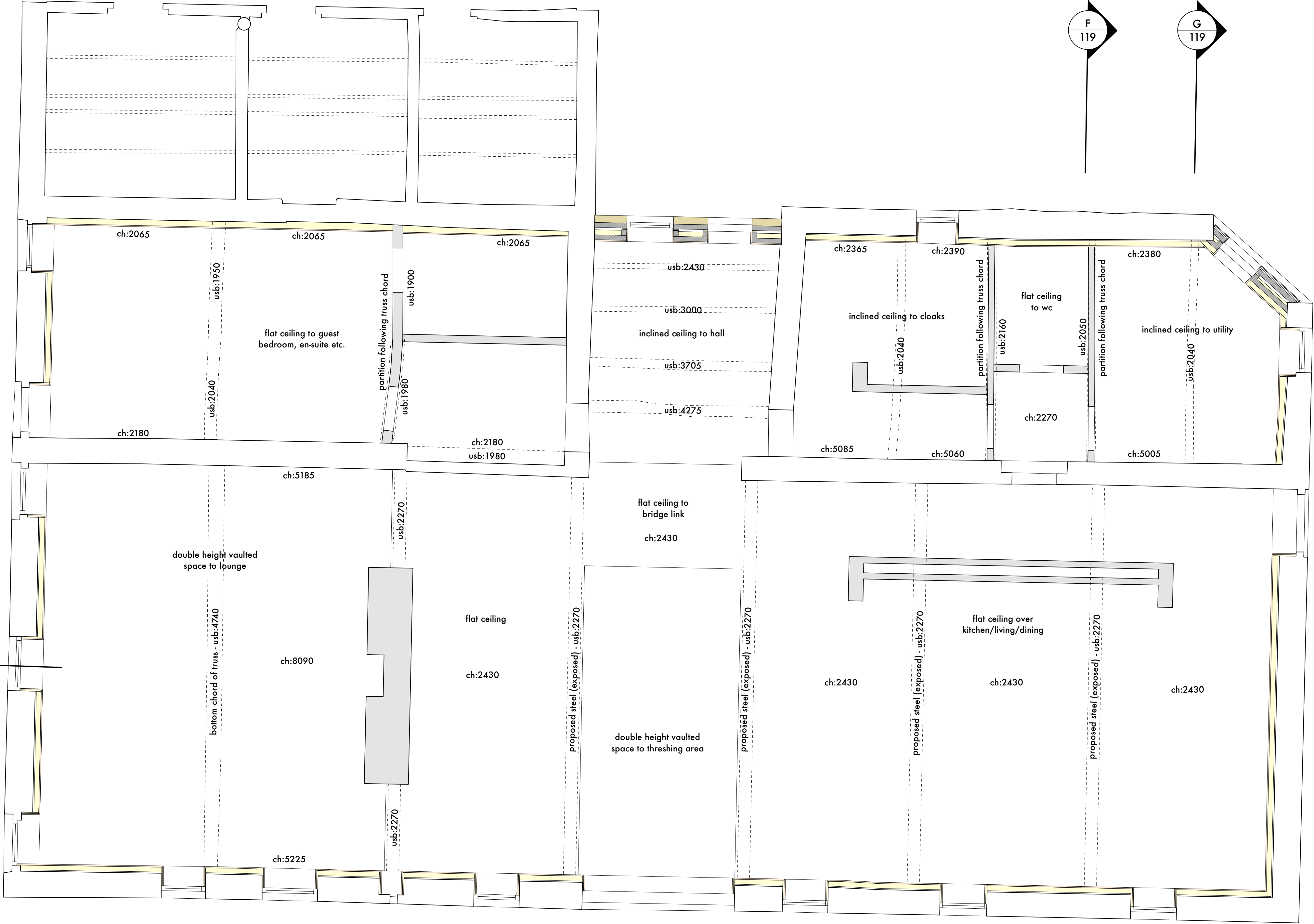
revision	date	note
A	19.06.2026	issued for planning



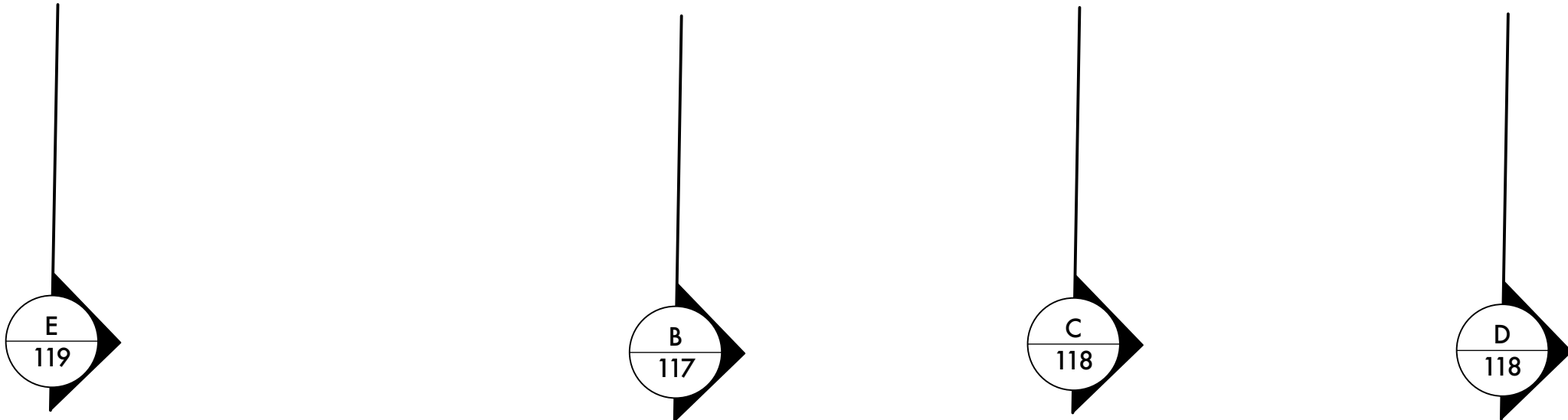
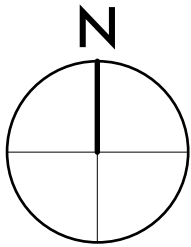
D
118

notes

- grey shaded areas indicate new internal walls/partitions.
- external walls to be lined internally with insulation (between studs), moisture resistant boarding and plasterboard. see proposed section details to drg.no.2241/120 for further information/specification.
- proposed floor deck within main hall to consist of T+G boarding over floor joists. 100mm mineral fibre insulation quilt compressed between joists. all underdrawn with plasterboard.
- steelwork to be introduced to reduce joist spans to first floor - exact sizes to be confirmed by structural engineer. steel beams treated for fire protection. steels to ground floor ceiling set at regular intervals to reflect structural bays from existing trusses. see section A for further clarity.



ground floor RCP



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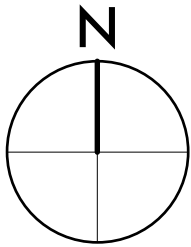
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notes

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- all first floor accommodation features inclined/vaulted ceilings to expose existing timber structure (trusses/purlins etc.). see reflected ceiling plan and proposed sections for further clarity.
- where historic internal openings are noted to be blocked up - faces to be set back 50mm to allow openings to remain visible/interpretable. openings to be infilled with like for like materials (i.e. walls remaining exposed to be infilled with random stonework).



first floor plan



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project
Winkley Hall Farm

name
Proposed 'main barn' first floor

scale
1 to 50 @ A1

project number
22.41

date
19.06.26

status
planning

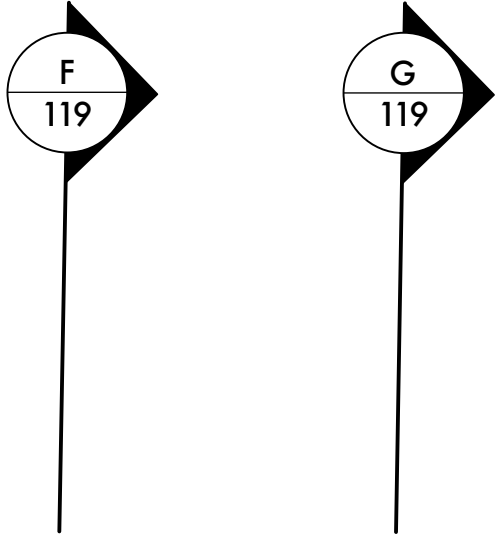
drawing number
113

revision
A

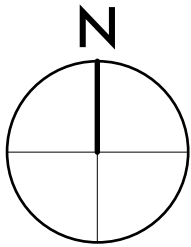
Chartered Practice

notes

- grey shaded areas indicate new internal walls/partitions.
- external walls to be lined internally with insulation (between studs), moisture resistant boarding and plasterboard. see proposed section details to drg.no.2241/120 for further information/specification.
- levels marked with asterisk (*) are measured to ground floor level - being features to open voids
- roof to be insulated over existing rafters/sheathing. rafters will remain exposed alongside purlins and trusses. see proposed section details to drg.no.2241/120 for further information/specification.
- all timberwork subject to further detailed investigation. isolated repairs to timberwork to be undertaken where necessary as structural engineers information.



first floor RCP



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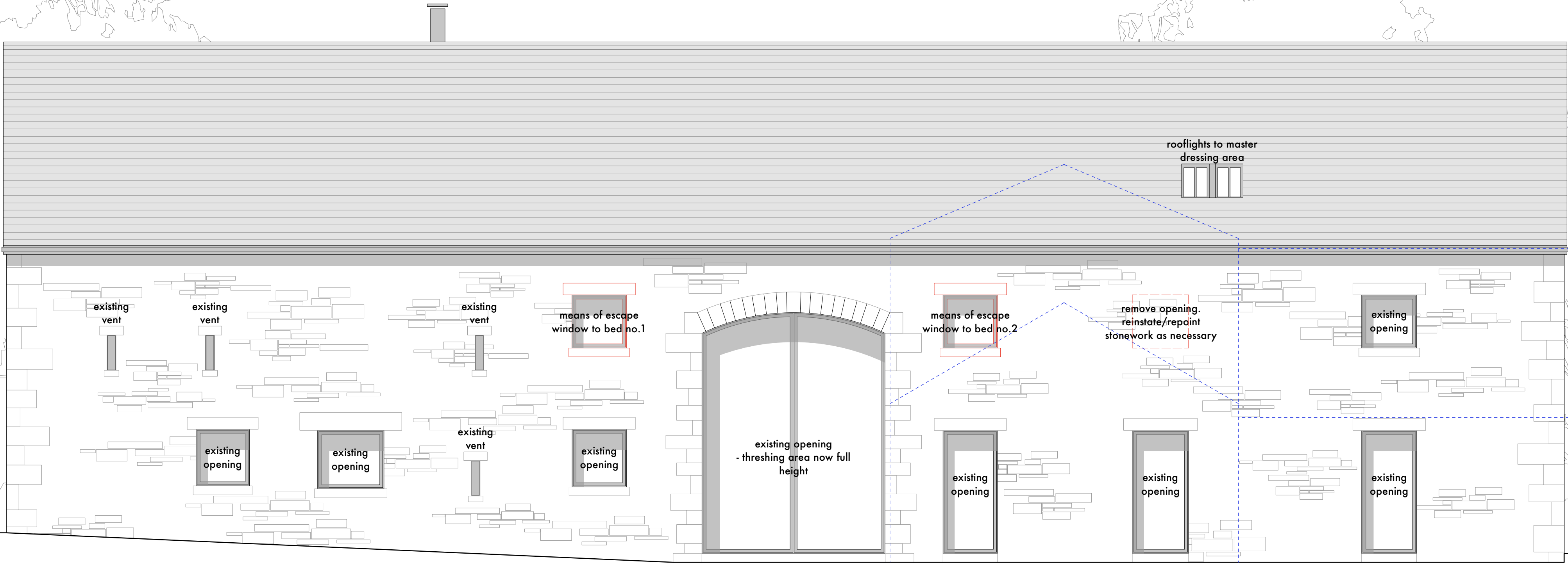
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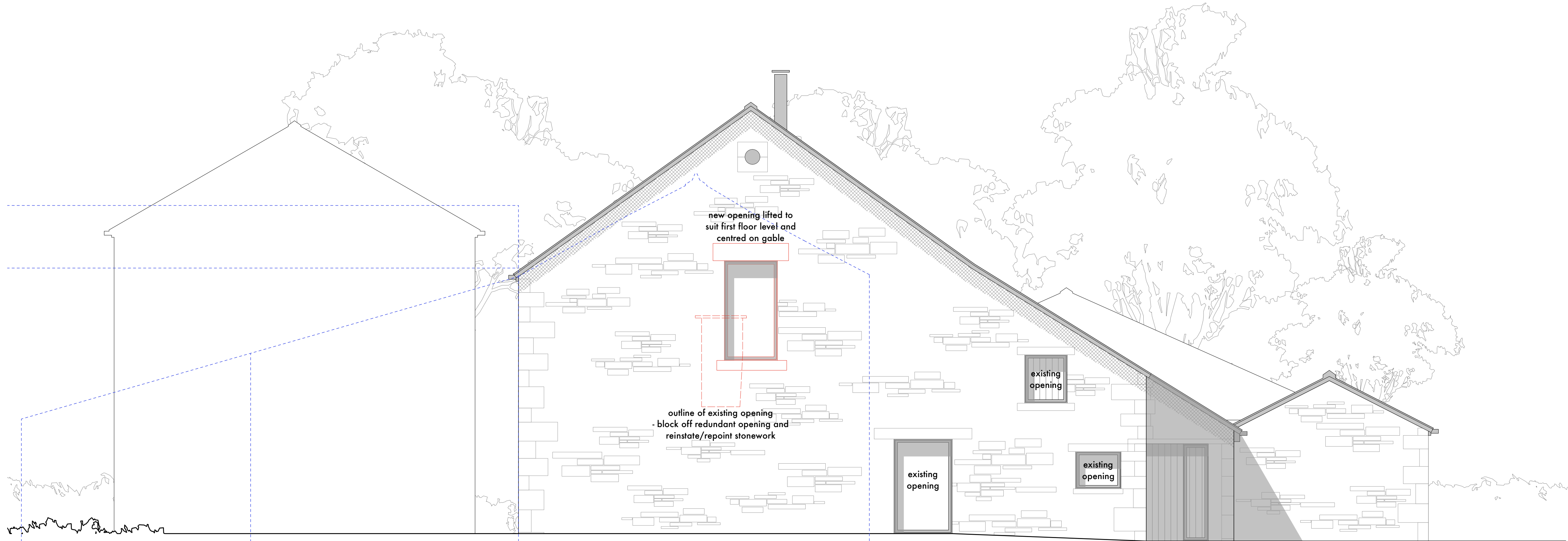


reconsideration of first floor layout to suit conservation officer
comments for full height threshing area requires additional
means of escape window to relocated bed no.1

south elevation

notes

- broken blue lines indicate existing redundant buildings/structures adjoining barn to be removed.
- materials to be re-used where possible. any new materials to compliment the style/character of the existing barn and/or be like for like replacements.
- solid red lines indicate new openings to suit proposed conversion (i.e. first floor means of escape windows). most new openings located in previously obstructed areas, exact arrangement to be reviewed/agreed following associated demolition works to redundant structures.
- conservation style rooflights included to north and south elevations - providing natural light and/or ventilation to first floor accommodation (landing, en-suites etc.). main mass of rooflights included to north facing roof (i.e. roof facing away from listed farmhouse). sizing of rooflights reduced and set to suit spacings of existing rafters to avoid the need to cut historic timbers.
- to suit conservation approach of retaining/exposing internal timberwork to roof, the insulation strategy (i.e. insulating over rafters/sheathing) will require gable ends and eaves to be built up as necessary. hatch to gable ends indicates likely extent of rebuilding including allowing for taking down, cleaning and rebedding upper 200-300mm of stonework at existing roof abutment.

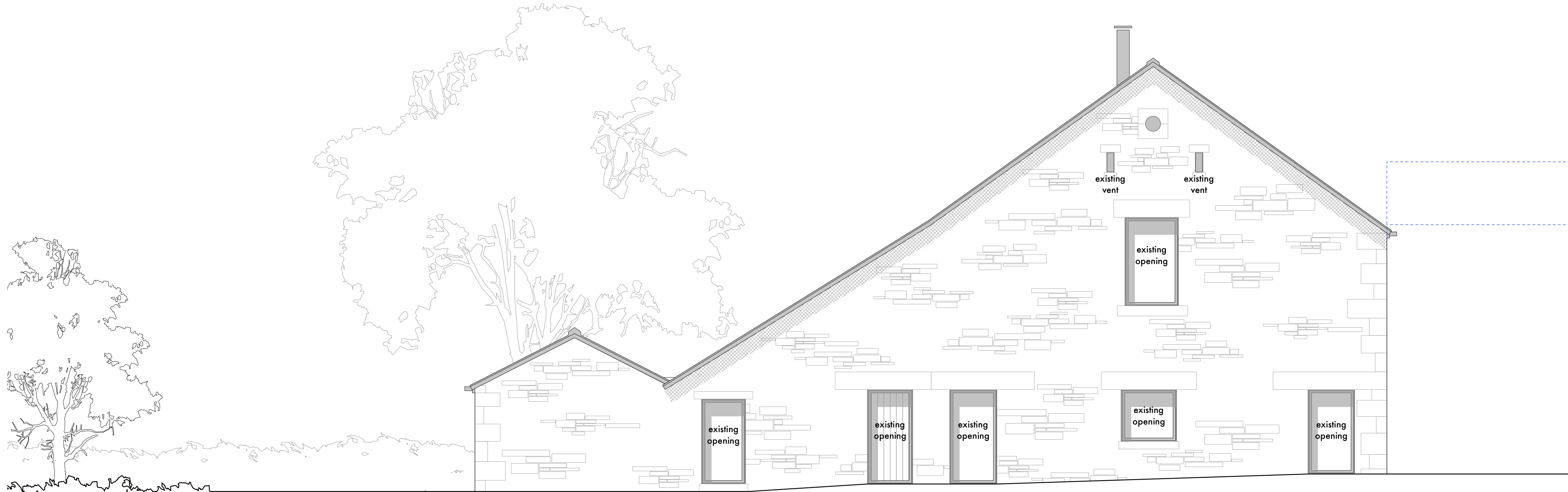


east elevation

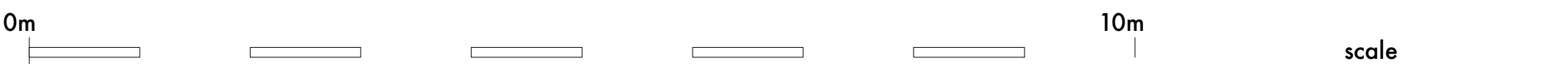




north elevation



west elevation



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project
Winkley Hall Farm

project number
22.41

name
Proposed 'main barn' elevations 2 of 2

scale
1 to 50 @ A1

date
19.06.26

status
planning

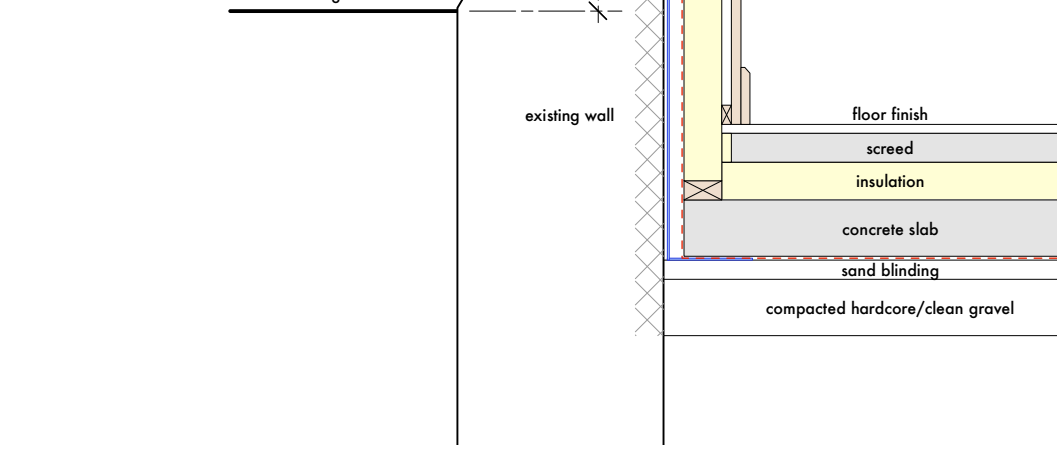
revision
A



Chartered Practice

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- see drg.no.2241/120 for general specs for wall and floor build-ups.
- blue line to existing wall indicates tanking membrane. lapped/sealed with dpm at base and restrained at head (window cill level).
- to window cill reveal, breather membrane (green line) to be dressed/sealed to window frame.
- dpm (red line) to be dressed up outer face of stud lining (within cavity) and linked with breather membrane - to terminate min.150mm above external ground level.
- compacted sub layer to floor build up to act as a drainage medium for any penetrating water caught by tanking membrane

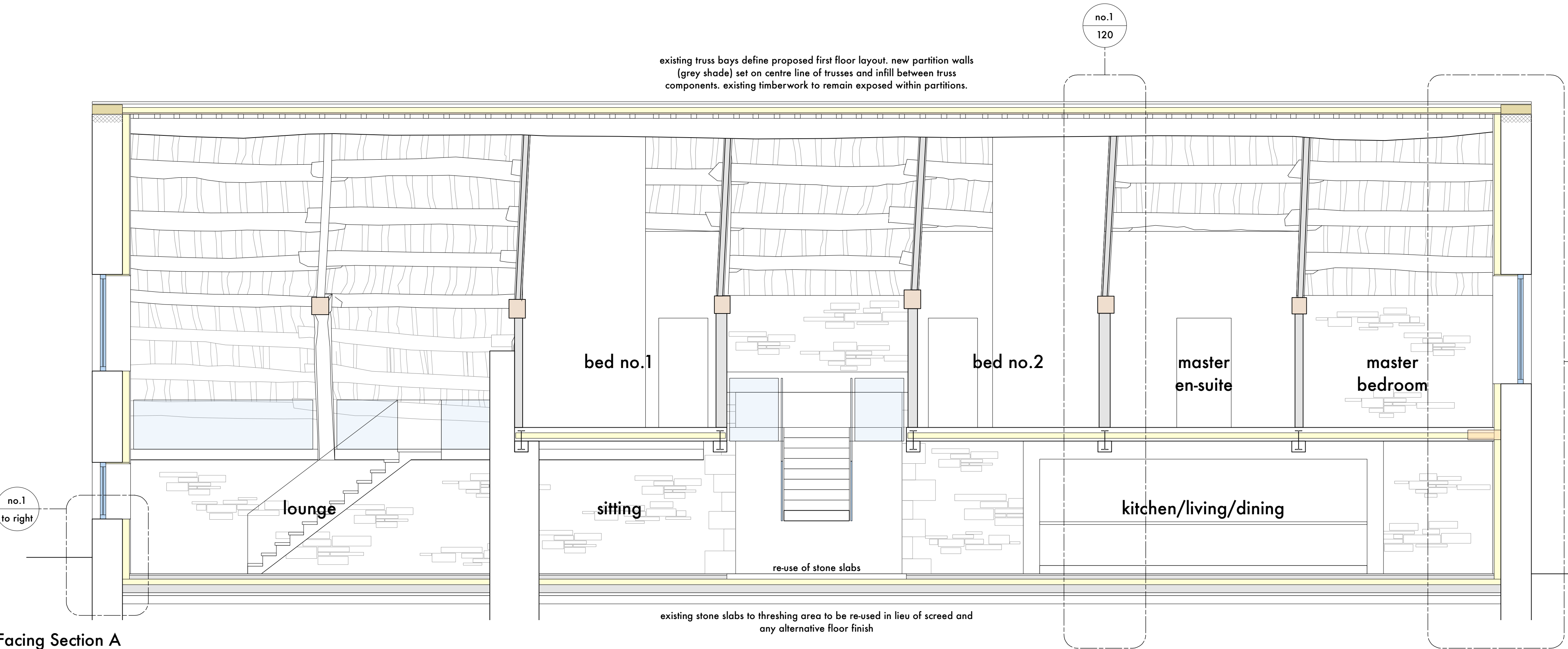


1 Typical west wall - tanking detail
Scale: 1:20

notes

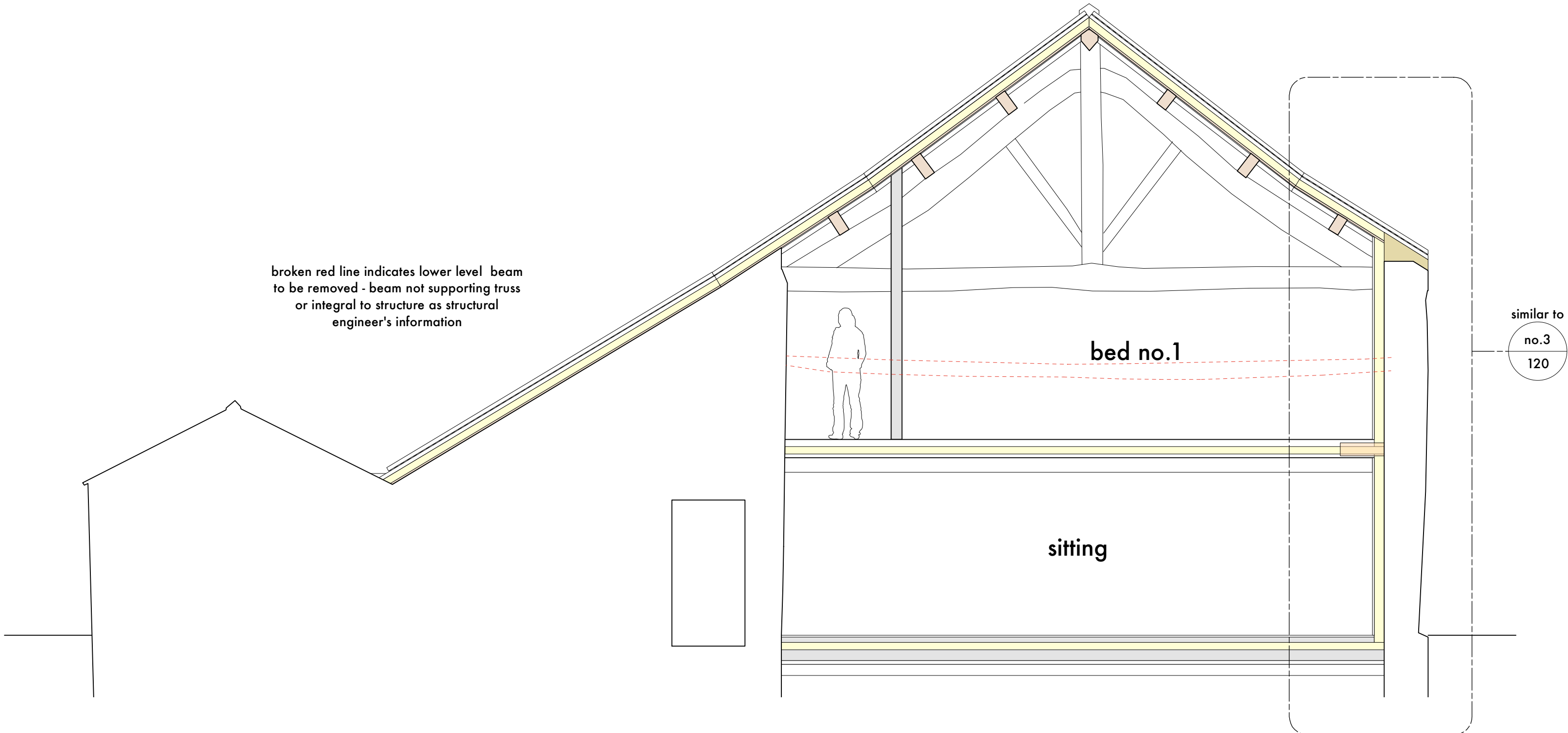
- floor to be replaced with new dpm, slab, insulation, screed etc. see proposed section details to drg.no.2241/120 for further information/specification.
- external walls to be lined internally with insulation (between studs), moisture resistant boarding and plasterboard. see proposed section details to drg.no.2241/120 for further information/specification.
- proposed floor deck within main hall to consist of T+G boarding over floor joists. 100mm mineral fibre insulation quilt compressed between joists. all underdrawn with plasterboard. orange shade at floor/wall junctions indicates compressed mineral fibre insulation to perimeter of floor zone to ensure continuity of insulation.
- steelwork to be introduced to reduce joist spans to first floor - exact sizes to be confirmed by structural engineer. steel beams treated for fire protection. steels set at regular intervals to reflect structural bays from existing trusses as section A.
- roof to be insulated over existing rafters/sheathing. rafters will remain exposed alongside purlins and trusses. see proposed section details to drg.no.2241/120 for further information/specification.
- all timberwork subject to further detailed investigation. isolated repairs to timberwork to be undertaken where necessary as structural engineers information.

existing truss bays define proposed first floor layout. new partition walls (grey shade) set on centre line of trusses and infill between truss components. existing timberwork to remain exposed within partitions.



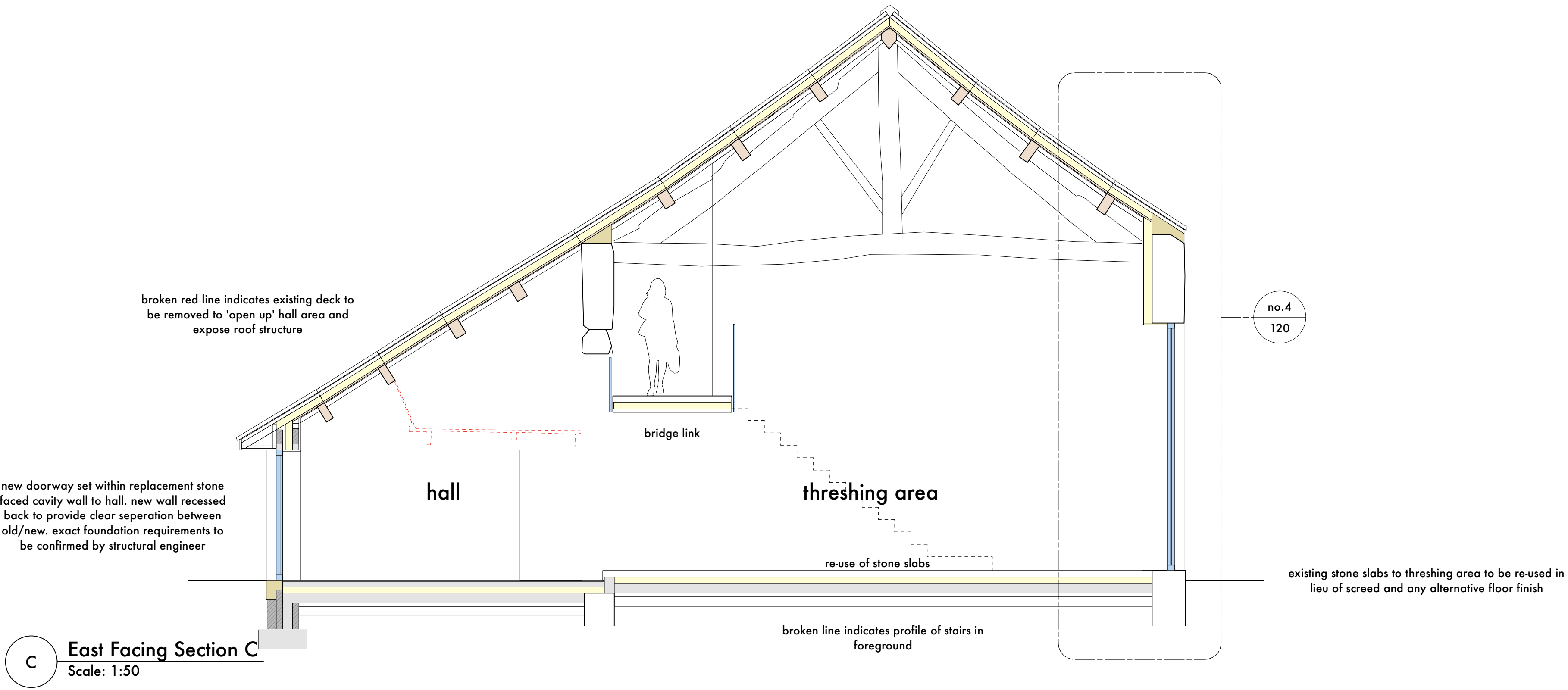
A North Facing Section A
Scale: 1:50

broken red line indicates lower level beam to be removed - beam not supporting truss or integral to structure as structural engineer's information



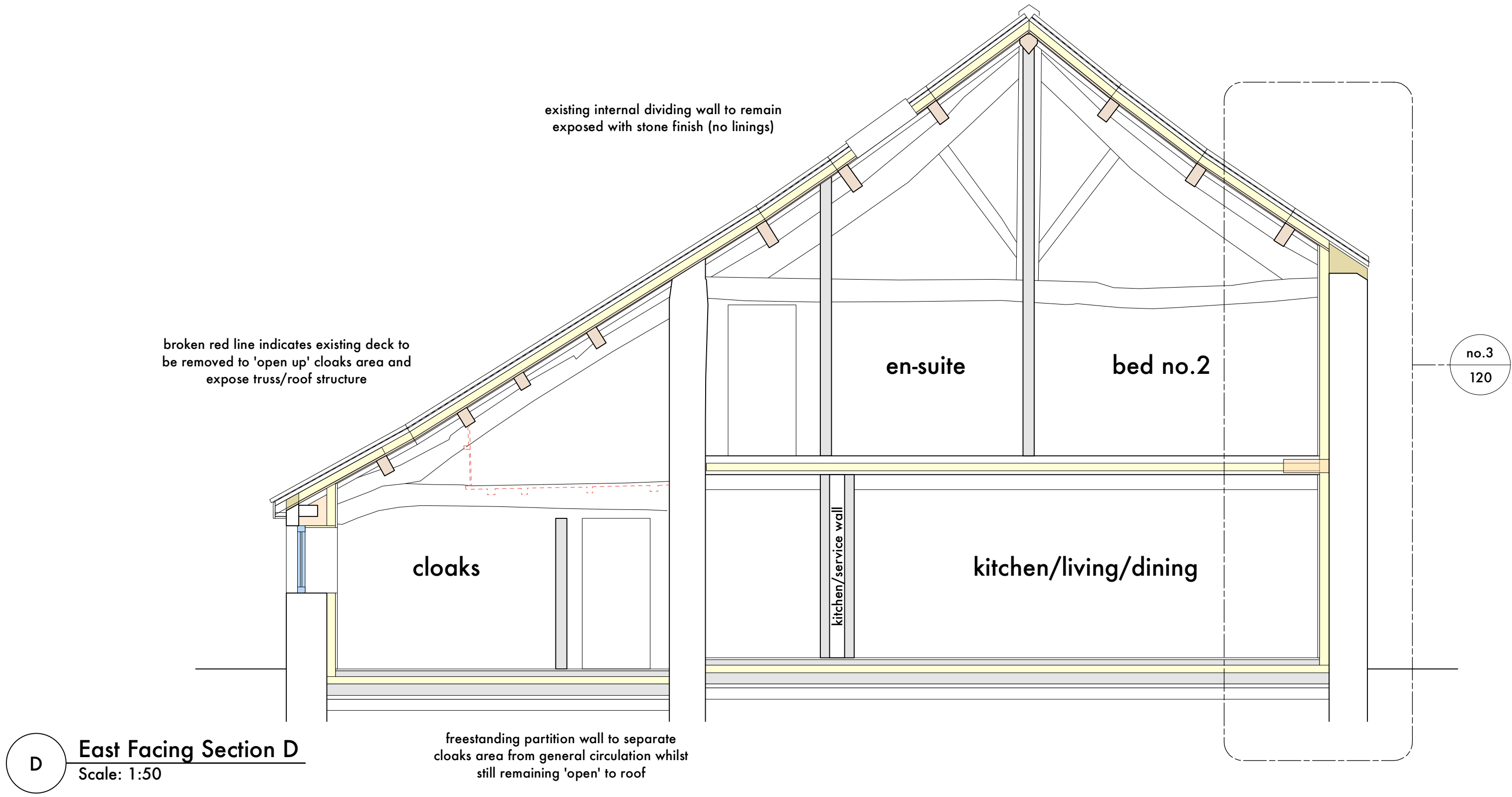
B East Facing Section B
Scale: 1:50

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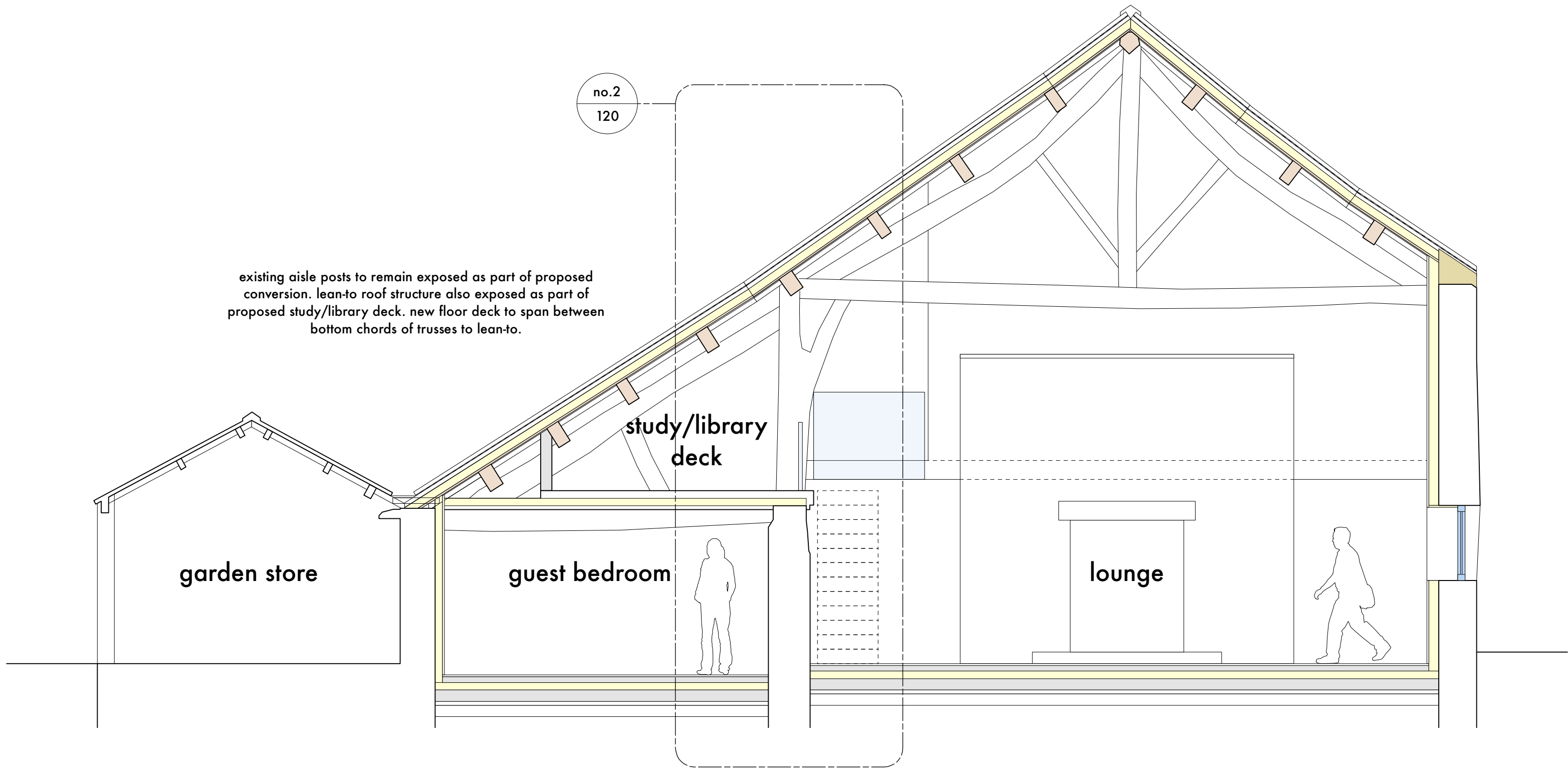


notes

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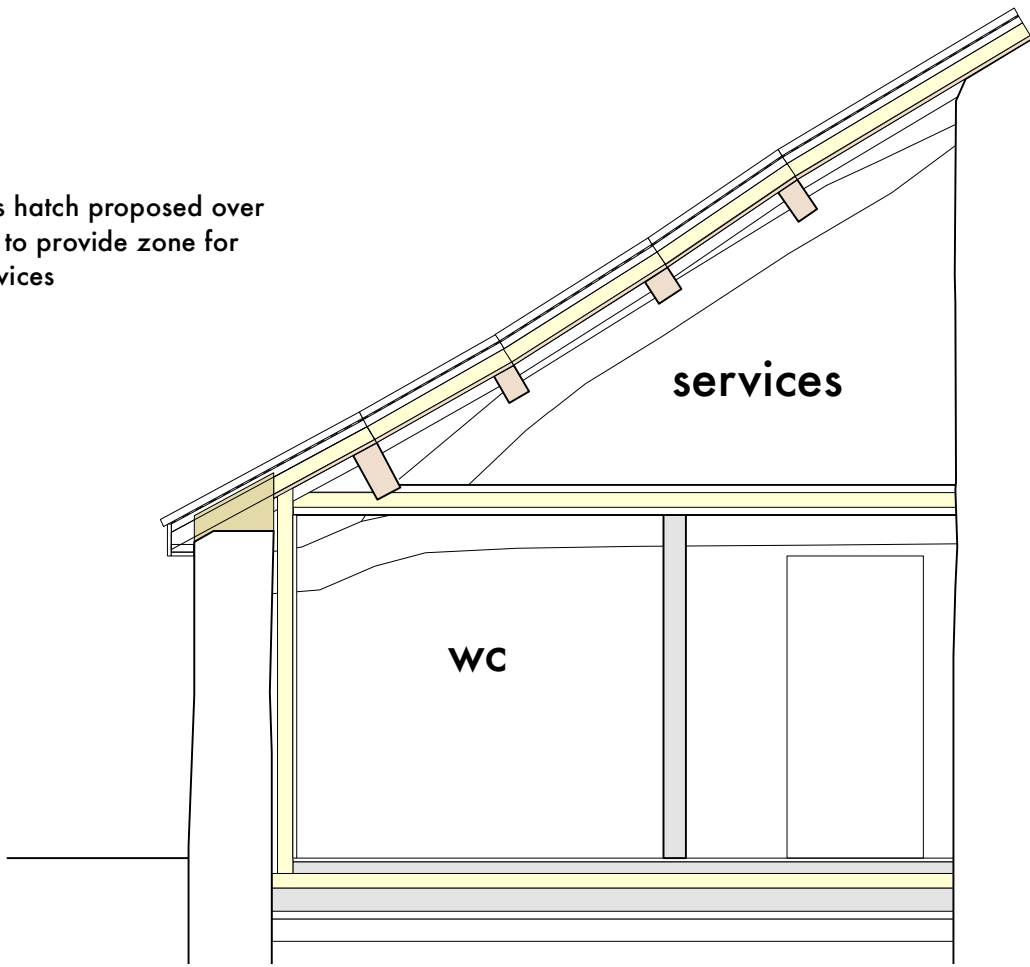
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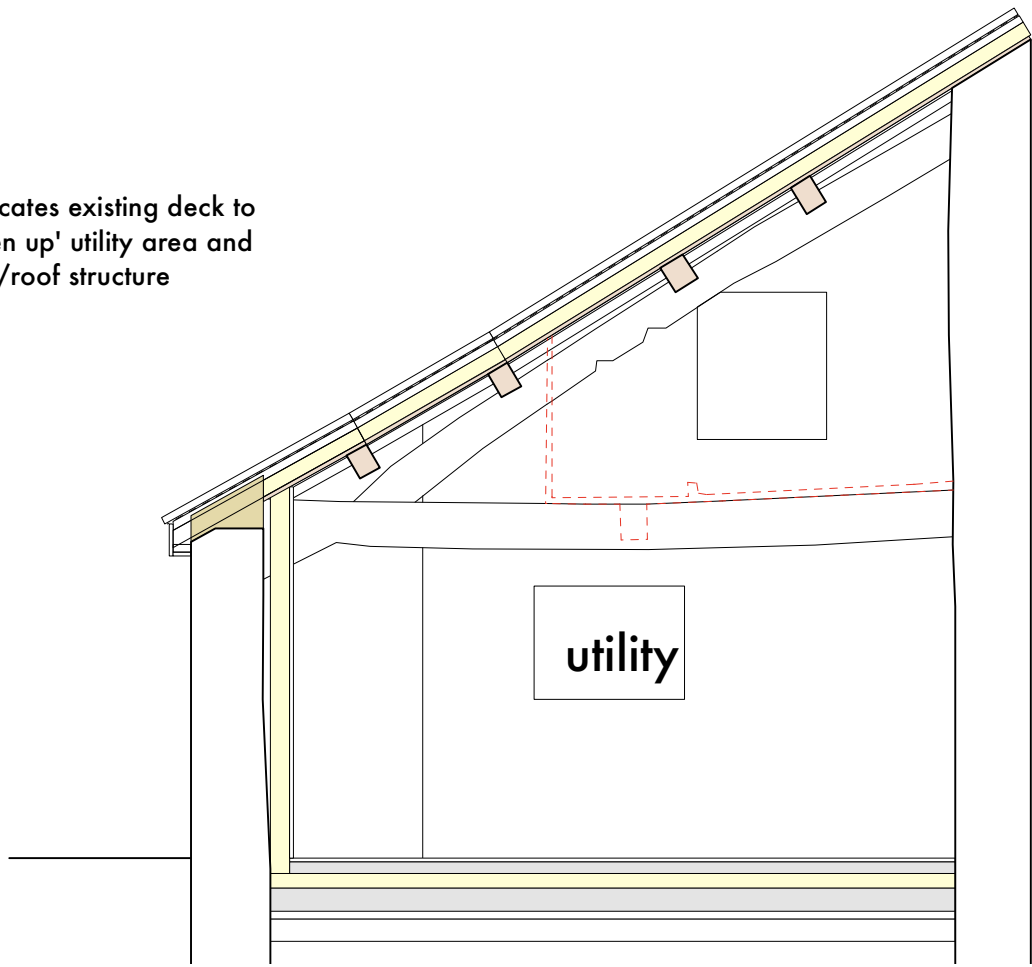
E East Facing Section E
Scale: 1:50

notes

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F Northern Lean-to/Aisle - Part Section F
Scale: 1:50



G Northern Lean-to/Aisle - Part Section G
Scale: 1:50

