



JUDITH DOUGLAS TOWN PLANNING LIMITED

Land adjacent to 110 Ribchester Road, Clayton Le Dale, BB1 9EE.

Discharge of conditions outline permission 3/2023/0321.

5 Land contamination

6 Bat and bird boxes

8 Foul and surface water details

9 Archaeological works

\*7 Proposed ground, slab and finished floor levels were approved under the reserved matters permission.

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**SUMMARY OF PLANS AND DOCUMENTS SUBMITTED WITH THIS APPLICATION**

Document	Details of	Condition
Preliminary Risk Assessment 11 <sup>th</sup> June 2025 and Proposed Investigation 11 <sup>th</sup> June 2025	Land contamination	OL5
Reserved ammeters approved drawing 2338-01C	Bat and bird boxes	OL6
MAS01-CCE-XX-XX-DR-C-0001 - Surface Water & Foul Drainage Layout MAS01-CCE-XX-XX-DR-C-0002 - Drainage Outfall Arrangement MAS01-CCE-XX-XX-DR-C-0003 - Site Plan & General Arrangement MAS01-CCE-XX-XX-RP-C-0001 - Drainage Design Statement & Specification	Foul and surface water drainage details	OL8
Written Statement for an Archaeological Watching Brief. 22 <sup>nd</sup> May 2025	Archaeological Works	OL9

**CONDITIONS TO BE DISCHARGED****Outline condition 5 Land contamination**

The condition reads

- “5) *No development hereby permitted shall commence until a desk study to investigate and assess the risk of the potential for on-site contamination has been submitted to, and approved in writing by, the local planning authority. If the desk study identifies potential contamination, a detailed site investigation shall be carried out in accordance with a written methodology, which shall first have been submitted to, and approved in writing by, the local planning authority. If remediation measures are then considered necessary, a scheme for decontamination of the site shall be submitted to, and approved in writing by, the local planning authority and the approved scheme implemented prior to the development of the site. Any changes to the agreed scheme must be approved in writing by the local planning authority prior to any works being undertaken.*”

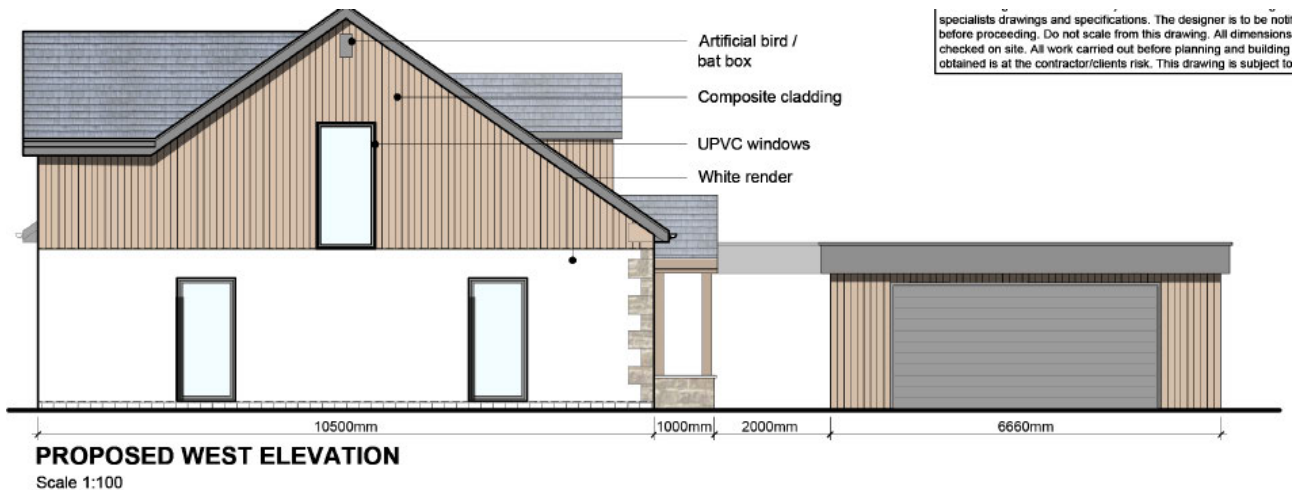
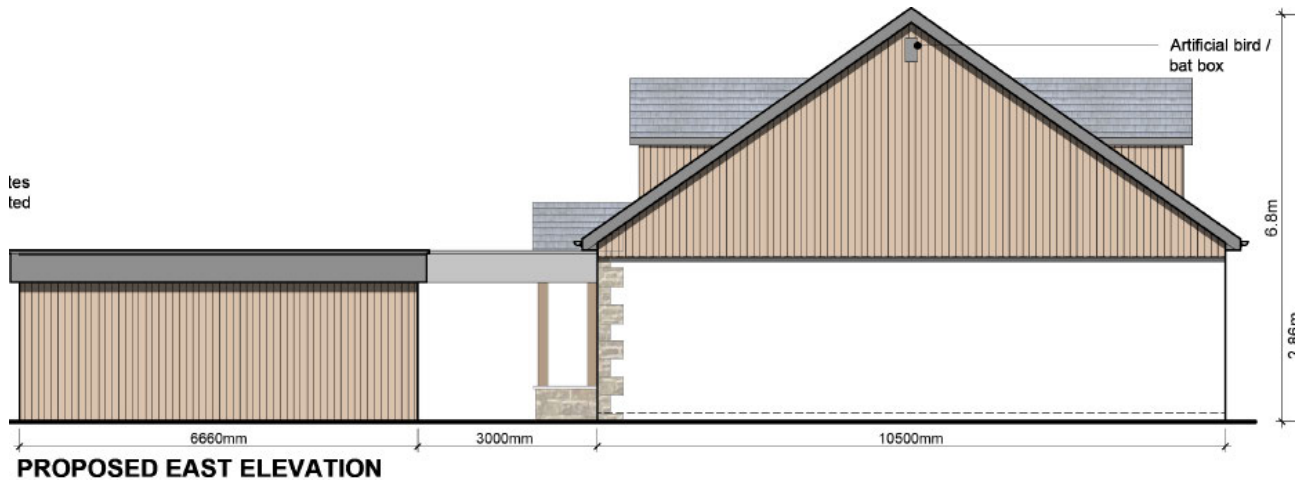
The Phase 1 Desk Study concludes that contamination will be present on the site, and an intrusive investigation is required. A written methodology is provided in accordance with the condition.

**Outline condition 6** Bat and bird boxes

The condition reads

“6) Notwithstanding the submitted details, no development hereby permitted, including any site preparation, demolition, scrub/hedgerow clearance or tree works/removal shall commence or be undertaken on site until details of habitat provisions to be made for protected species (artificial bird nesting boxes and artificial bat roosting sites/provision) have been submitted to, and approved in writing by, the local planning authority. The approved artificial bird/bat box details shall be provided in accordance with the approved details before the dwelling is occupied and shall thereafter be retained as such.”

Approved plan 2338-01C Proposed floor plans and elevations shows the location of the proposed bat and bird boxes on the east and west.



Bird boxes are to be fixed to the west gable elevation of the dwelling at the apex as shown on the approved drawing. The bird boxes are Vivara Pro Wood stone House Sparrow Nest Boxes or the Eco Sparrow Tower.

	
<p>Vivara Pro Wood stone House Sparrow Nest Box</p>	<p>Eco Sparrow Tower</p>

The manufacturer describes the Vivara Pro box as:

*“This house sparrow nest box is manufactured from woodstone® - a mix of concrete and FSC wood fibres. This material is strong and highly insulating which helps to provide a thermally stable environment within the box. It also protects against damage from predators such as cats, woodpeckers and squirrels. It is available with one or two breeding chambers, which can be particularly suitable for house sparrows as they prefer to nest in colonies.*

*The boxes can be integrated into the masonry of a new house or fixed onto an external wall using strong screws and wall plugs (not included). If possible, it should be positioned near to vegetation and at a minimum of 2m above ground.”*

The manufacturer describes the Eco Sparrow Tower as

*“This Eco Sparrow Tower is constructed with a recycled plastic weatherproof outer shell protecting a wooden nesting chamber to create a robust long-lasting nest box with sufficient space for three pairs of house sparrows to nest in.*

*Whilst still common in some areas, house sparrows have declined dramatically in the last few decades. This sparrow tower has been designed to provide much-needed nesting places. House sparrows nest colonially so up to three pairs may nest in this box.*

*Each nesting chamber in the tower has a 32mm hole and is the ideal size for a pair of house sparrows. A fixed roof enables the box to be fitted right up at the eaves where sparrows prefer to nest.”*

As specified, the proposed location is 2m above the ground.

The bird boxes are available from <https://www.nhbs.com/>

Two bat boxes are to be fixed to the east gable which is orientated slightly to the south-east at the apex as shown on the approved drawing. The proposed bats boxes are Lela bat box or Beaumaris Woodstone Bat Box.

	
<p>Lela Bat Box</p>	<p>Beaumaris Woodstone Bat Box.</p>

The manufacturer describes the Lela Bat Box as

*“The Lela bat box is designed to provide roosting space for several crevice species, including the brown long-eared bat and our most commonly encountered species, the Pipistrelle. It features two internal crevices, separated by a woodstone divider, that create a varied set of internal microclimates, allowing the inhabitants to choose the most suitable place to roost. It is constructed from wood-concrete, a blend of concrete and wood fibres that is both more durable and long-lasting than a timber box and lighter than a concrete roost. It has excellent thermal properties, ensuring that the box remains warm on cold nights, and is breathable, helping to reduce the risk of overheating during hot summers. Its rough texture is perfect for bats to cling to.*

*The Lela has twin entrances facing downwards at the base of the box, ensuring that no upkeep is required. It should be mounted externally on buildings, at least 3m from the ground and away from full sun, the prevailing wind, and sources of artificial light. Bats prefer to change roosts to benefit from varying ambient temperatures, so bat boxes should ideally be clustered in small groups.”*

The manufacturer describes the Beaumaris Woodstone Bat Box as

*“This bat box is made entirely from woodstone®, a robust material comprising concrete and wood fibres. This means that the box has excellent insulating properties maintaining a more consistent temperature throughout the year and provides excellent protection from predators. The Beaumaris box has a single narrow entrance, making it suitable for crevice roosting bats such as the common pipistrelle, soprano pipistrelle, Nathusius' pipistrelle, Brandt's bat and whiskered bat. The box's*

*interior has a rough surface for bats to cling to and the front of the box features a subtle but attractive imprint of a bat in flight.*

*Suitable for attaching to external walls and should be sited as high up on the façade as possible, at a height of at least 3m from the ground. Avoid siting under artificial lights. Bats prefer to change roosts to benefit from varying ambient temperatures, so bat boxes should ideally be clustered in small groups”.*

As specified, the proposed location is 3m above the ground.

The bat boxes are available from <https://www.nhbs.com/>

### **Outline condition 8** Foul and surface water drainage details

The condition reads

*“8) No development hereby permitted, other than demolition works, shall take place until full details of the surface and foul water drainage systems for the site have been submitted to, and approved in writing by, the local planning authority. The detailed surface water scheme shall be based upon the sustainable drainage principles and requirements set out in the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems. No surface water shall be allowed to discharge to the public foul sewer(s), directly or indirectly. The drainage system shall subsequently be implemented in accordance with the approved details before the development is completed and shall be retained as such thereafter.”*

The drainage design scheme is provided by Countywide Consulting engineers Ltd and includes:

- Drainage Design Statement & Specification (Sections 1–9)
- Surface Water & Foul Drainage Layout (0001)
- Drainage Outfall Arrangement (0002)
- Site Plan & General Arrangement (0003)
- EA Flood Map for Planning (Flood Zone 1)
- HR Wallingford FEH2025 Greenfield Runoff Report
- Complete InfoDrainage Hydraulic Model Output
- Klargestor BioTec+ Technical Literature

**Outline condition 9** Archaeological Works

The condition reads

*“9) No development hereby permitted shall take place until the applicant, or their agent or successors in title, has secured the implementation of a programme of archaeological works. This must be carried out in accordance with a written scheme of investigation, which shall first have been submitted to, and approved in writing by, the local planning authority.”*

**Please note** that condition 7 has been complied. The condition required

*“7) Prior to the submission of a reserved matters application relating to layout, or simultaneously with that reserved matters application, details of the existing and proposed ground, slab and finished floor levels shall be submitted to, and approved in writing by, the local planning authority. The development shall be constructed and completed in accordance with the approved details.”*

The ground, slab and finished floor levels were submitted with the reserved matters application. The reserved matters approval included conditions 2 and 3 which requires the development to be carried out in accordance with the approved land levels