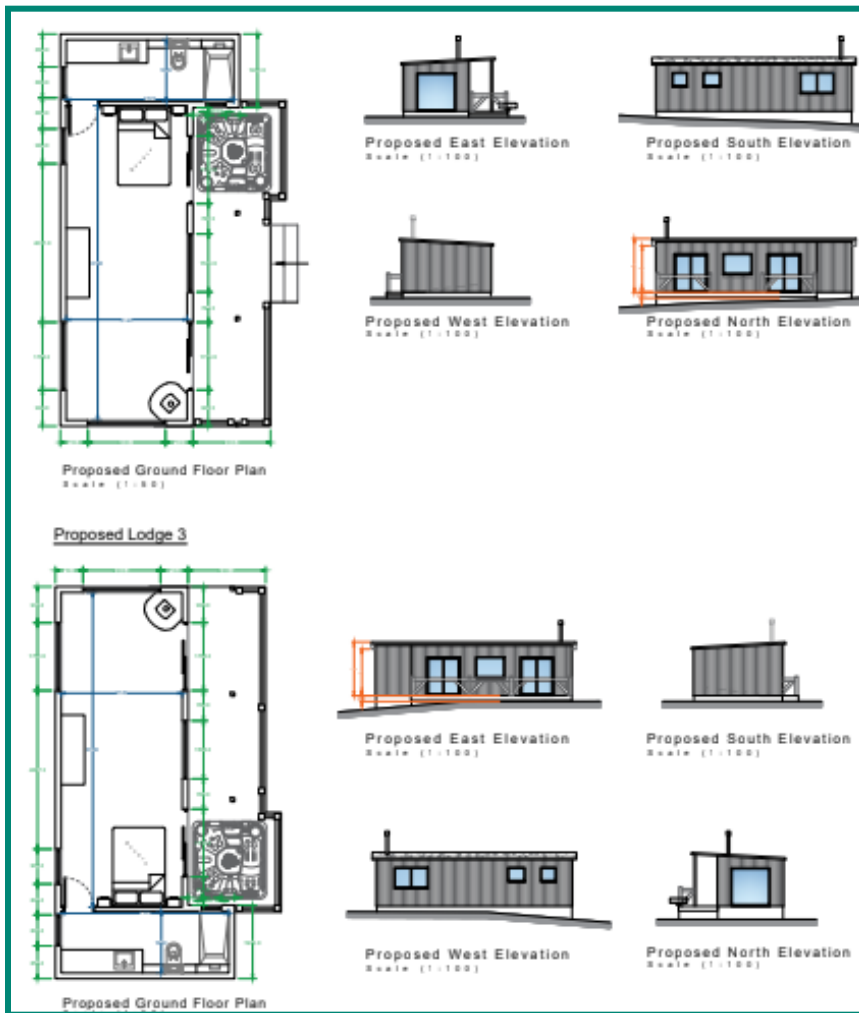


SUPPORTING STATEMENT

31 March 2026

DISCHARGE OF CONDITIONS 11, 14, 16, 18, 19, 20 and 21 ON PLANNING CONSENT
3/2025/0861



Burnhouse Farm, Back Lane, Slaidburn, Clitheroe, BB7 3EE

Prepared by MacMarshalls Rural Chartered Surveyors & Planning Consultants on behalf of Mr Stuart Hartley

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1. INSTRUCTIONS

MacMarshalls Rural Chartered Surveyors & Planning Consultants are instructed on behalf of Mr Stuart Hartley, herein referred to as the 'applicant', to submit a planning application to discharge conditions 11, 14, 16, 18, 19, 20 and 21 on planning approval 3/2025/0861.

2. CONDITION 11 - Construction Management Plan

2.1. Condition 11 states:

“No development shall take place, including any works of demolition or site clearance, until a Construction Management Plan (CMP) or Construction Method Statement (CMS) has been submitted to, and approved in writing by the local planning authority. The approved plan / statement shall provide:

- 24 Hour emergency contact number*
- Details of the parking of vehicles of site operatives and visitors*
- Details of loading and unloading of plant and materials*
- Arrangements for turning of vehicles within the site*
- Measures to protect vulnerable road users (pedestrians and cyclists)*
- Delivery, demolition, and construction working hours.*

The approved Construction Management Plan or Construction Method Statement shall be adhered to throughout the construction period for the development.

Reason: In the interests of the safe operation of the adopted highway during the demolition and construction phases.”

2.2. Please refer to the Construction Management Plan and Site plan CMP submitted with this application.

3. CONDITION 14 - Landscaping Scheme

3.1. Condition 14 states:

“Notwithstanding the details shown on the approved plans and the requirements of Condition 2 of this permission, within three months of development commencing a landscaping scheme for the site (including elements of both 'hard' and 'soft' landscaping) shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include details of the proposed surface treatment of all hard surfaced areas and the type, species, siting, planting distances and programme of planting of any trees and shrubs.

The duly approved landscaping scheme shall be carried out within the first planting season

following first occupation of the dwelling and the areas which are landscaped shall be retained as landscaped areas thereafter.

Any trees or shrubs removed, dying, being severely damaged or becoming seriously diseased within three years of planting shall be replaced by trees or shrubs of similar size and species to those originally required to be planted.

For the avoidance of doubt all trees/hedgerow shown as being retained in the submitted Arboricultural Impact Assessment dated January 2025 shall be retained as such in perpetuity. During the construction period, all trees to be retained shall be protected in accordance with British Standard BS 5837:2012 or any subsequent amendment to the British Standard.

Reason: In order to achieve a satisfactory level of landscaping in the interests of visual amenity and to protect trees/hedging of landscape and visual amenity value on and adjacent to the site or those likely to be affected by the proposed development hereby approved.”

- 3.2. Please refer to the Landscape Plan submitted with this application.

4. CONDITION 16 - Details of bird/bat boxes

- 4.1. Condition 16 states:

“No development shall take place until details of the provisions to be made for building dependent species of conservation concern, artificial bird nesting boxes and artificial bat roosting sites have been submitted to, and approved in writing by the Local Planning Authority. The details shall be submitted on a bird/bat species development site plan and include details of the numbers of artificial bird nesting boxes and artificial bat roosting sites. The artificial bird/bat boxes shall be installed in accordance with the agreed details before the camping lodges are first brought into use and retained thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of biodiversity and to enhance nesting/roosting opportunities for species of conservation concern and to reduce the impact of development.”

- 4.2. Please refer to the Bird/ Bats statement and plan submitted with this application.

5. CONDITION 18 - Construction Environmental Method Statement (CEMS)

- 5.1. Condition 18 states:

“No part of the development hereby approved shall commence until a Construction Environmental Method Statement (CEMS) has been submitted to and approved in writing by the Local Planning Authority. The CEMS shall set out, as a minimum, site specific measures to control

and monitor impact arising in relation to construction traffic, noise and vibration, dust and air pollutants, land contamination, ecology and ground water. The development shall be carried out in full accordance with the approved CEMS at all times.

Reason: In the interests of biodiversity, to protect species of conservation concern and to reduce the impact of development.”

- 5.2. Please refer to the Construction Environmental Method Statement submitted with this application.

6. CONDITION 19 - Biodiversity Gain Plan

- 6.1. Condition 19 states:

“Prior to the commencement of development, a Biodiversity Gain Plan shall be submitted to and approved in writing by the Local Planning Authority (see further details below at #6 of the Informatives Section) and implemented in accordance with the approved details.

The Biodiversity Gain Plan shall be prepared in accordance with the submitted Biodiversity Net Gain Report dated 20/10/25.

Reason: To ensure the development delivers a net gain which satisfies paragraph 14 (2) of Schedule 7A of the Town and Country Planning Act 1990 and which is in accordance with the biodiversity information submitted with the planning application.”

- 6.2. Please refer to the BNG Net Gain Plan F122 Mr S Hartley submitted with this application.

7. CONDITION 20 - Habitat Management and Monitoring Plan (HMMP)

- 7.1. Condition 20 states:

“(a) The development shall not commence until a Habitat Management and Monitoring Plan (the HMMP), prepared in accordance with the approved Biodiversity Gain Plan (as required by the 'Statutory Biodiversity Condition' - see further details below), has been submitted to, and approved in writing by, the local planning authority. This shall include details of:-

- (i) a non-technical summary;*
- (ii) the roles and responsibilities of the people or organisation(s) delivering the HMMP;*
- (iii) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;*
- (iv) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the completion of development; and*
- (v) the monitoring methodology and frequency in respect of the created or enhanced habitat to be submitted to the local planning authority.*

(b) Notice in writing shall be given to the Council when the:

- (i) HMMP has been implemented; and*

- (ii) habitat creation and enhancement works as set out in the HMMP have been completed.*
- (c) First use of the camping lodges hereby approved shall not take place until:*
- (i) the habitat creation and enhancement works set out in the approved HMMP have been completed; and*
- (ii) a completion report, evidencing the completed habitat enhancements, has been submitted to, and approved in writing by the Local Planning Authority.*
- (d) The created and/or enhanced habitat specified in the approved HMMP shall be managed and maintained in accordance with the approved HMMP.*
- (e) Monitoring reports shall be submitted to the local planning authority in writing in accordance with the methodology and frequency specified in the approved HMMP.*

Reason: To ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990.”

7.2. Please refer to the HMMP - F122 - 3 Mr S Hartley and Appendix 1-7 submitted with this application.

8. CONDITION 21 - Detailed surface water drainage strategy

8.1. Condition 21 states:

“No development shall commence until a detailed, final surface water sustainable drainage strategy for the site has been submitted to and approved in writing by the Local Planning Authority.

The detailed surface water sustainable drainage strategy shall be based upon the sustainable drainage and principles and requirements set out in the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems. No surface water shall be allowed to discharge to the public foul sewer(s), directly or indirectly. The details of the drainage strategy to be submitted for approval should include, as a minimum:

- Details of whether the site is greenfield or previously developed in terms of drainage*
- Assessment of the hierarchy of drainage options*
- Details of the contributing area*
- Restricted discharge rate*
- On-site surface water storage*
- Allowances for climate change and urban creep*
- Above ground, multifunctional SuDS components*
- Arrangements for management and maintenance*

The sustainable drainage strategy shall be implemented in accordance with the approved details.

Reason: To ensure satisfactory sustainable drainage facilities are provided to serve the site in accordance with the Paragraphs 181 and 182 of the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems.

22. The site shall be drained via separate systems for the disposal of foul and surface water.

Reason: To secure a satisfactory system of drainage and to prevent pollution of the water environment.”

8.2. Please refer to the Sustainable Surface Water Drainage Strategy submitted with this application.

9. CONCLUSION

9.1. It is duly requested that conditions 11, 14, 16, 18, 19, 20 and 21 on planning consent 10/21/0734 are discharged based on the submitted information.

9.2. Please contact the author if you have any queries or require further details.

Produced & signed by: Kylah Louch BCom

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