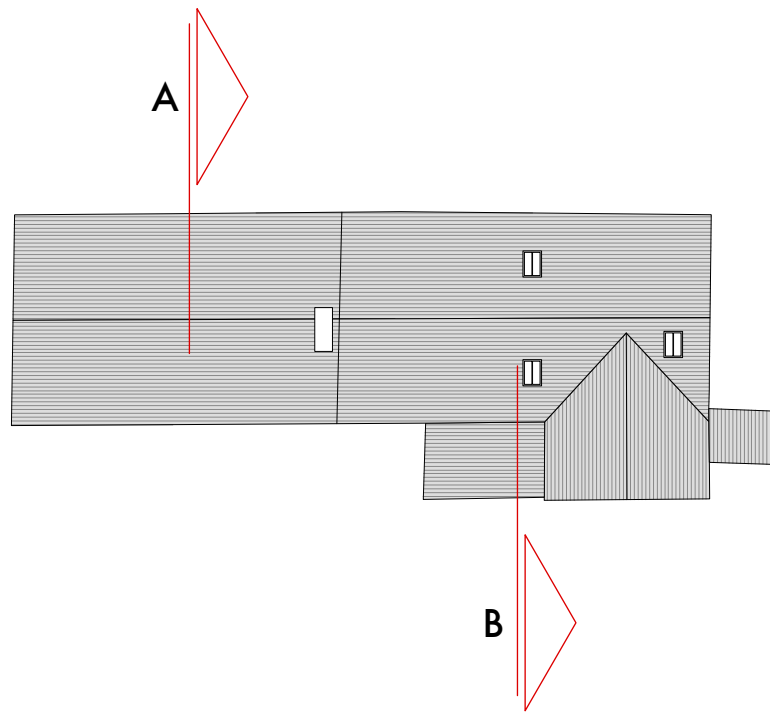


key plan



EXISTING EXTERNAL WALLS

EXTERNAL WALL FINISHES

- existing sections of cement render to be removed
- all existing cement pointing to be carefully raked out and repointed with lime mortar to improve moisture permeability

GENERAL PREPARATION

- a condition survey of all internal wall surfaces, including the internal surface of external walls as well as internal partitions (unless the internal partition has already been approved to be removed), is to be undertaken at the outset of works; retention, repair and replication of all historic lime render and lime wash wherever practicable; removal only where plaster is detached, actively failing or demonstrably non-original.

Note: The existing condition of internal plaster throughout the farmhouse is highly variable, with significant areas severely deteriorated following prolonged moisture ingress during the building's extended period of vacancy. Where plaster has become detached and friable, its retention is neither practicable nor a meaningful act of conservation.

INTERNAL LININGS (already approved under planning ref.3/2025/0270 and listed building consent ref.3/2025/0271)
12.5mm plasterboard, joints to be scrim sealed for 3mm skim finish.
12mm exterior grade ply (or comparable OSB board).
vapour barrier
100x50mm studwork (either sw or MF metal stud) at max.600mm centres.
100mm polyisocyanurate insulation between studs.
breather membrane to outer face of stud (facing into cavity).
min.25mm cavity between outer face of lining and existing wall.

NORTH WALL TO BE DEMOLISHED AND REBUILT IN ACCORDANCE WITH METHOD STATEMENT PREPARED BY PHILIP WRIGHT ASSOCIATES

PROPOSED EXTERNAL WALL CONSTRUCTIONS

400mm solid masonry wall, dress and reface sandstone on site from the careful demolition of the existing north wall, stone to be reused to be seasoned and free from cracks, vents, fissures and other defects that may be deleterious to strength, durability or appearance. Any additional stone as 'additional stone' note below
Lay the natural stone with 1:1:6 cement : lime : sand mortar/pointing.

- internal lining as specified above.

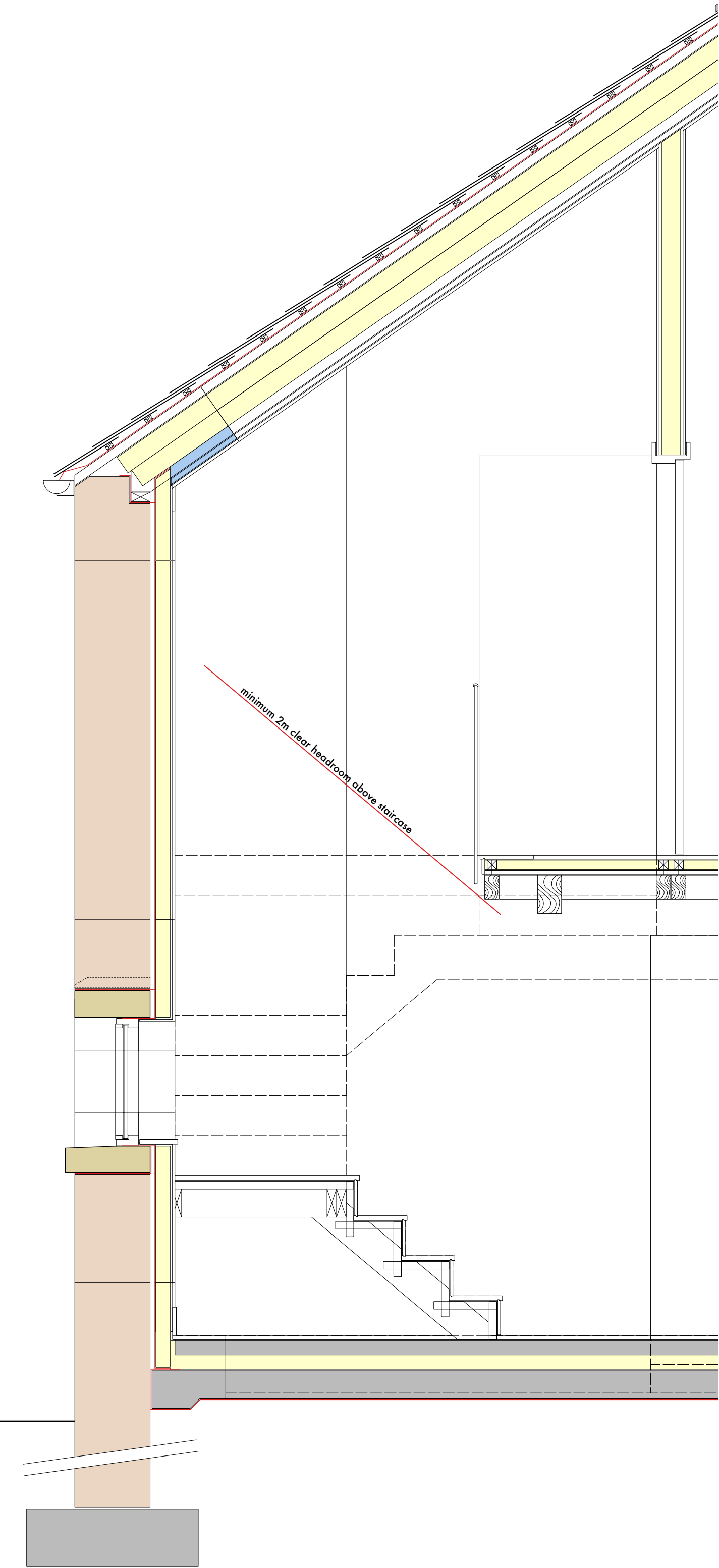
LINTELS AND CILLS

existing dressed stone lintels and cills to be reused wherever possible. any replacement stonework to be reclaimed to match existing as 'additional stone' note below.

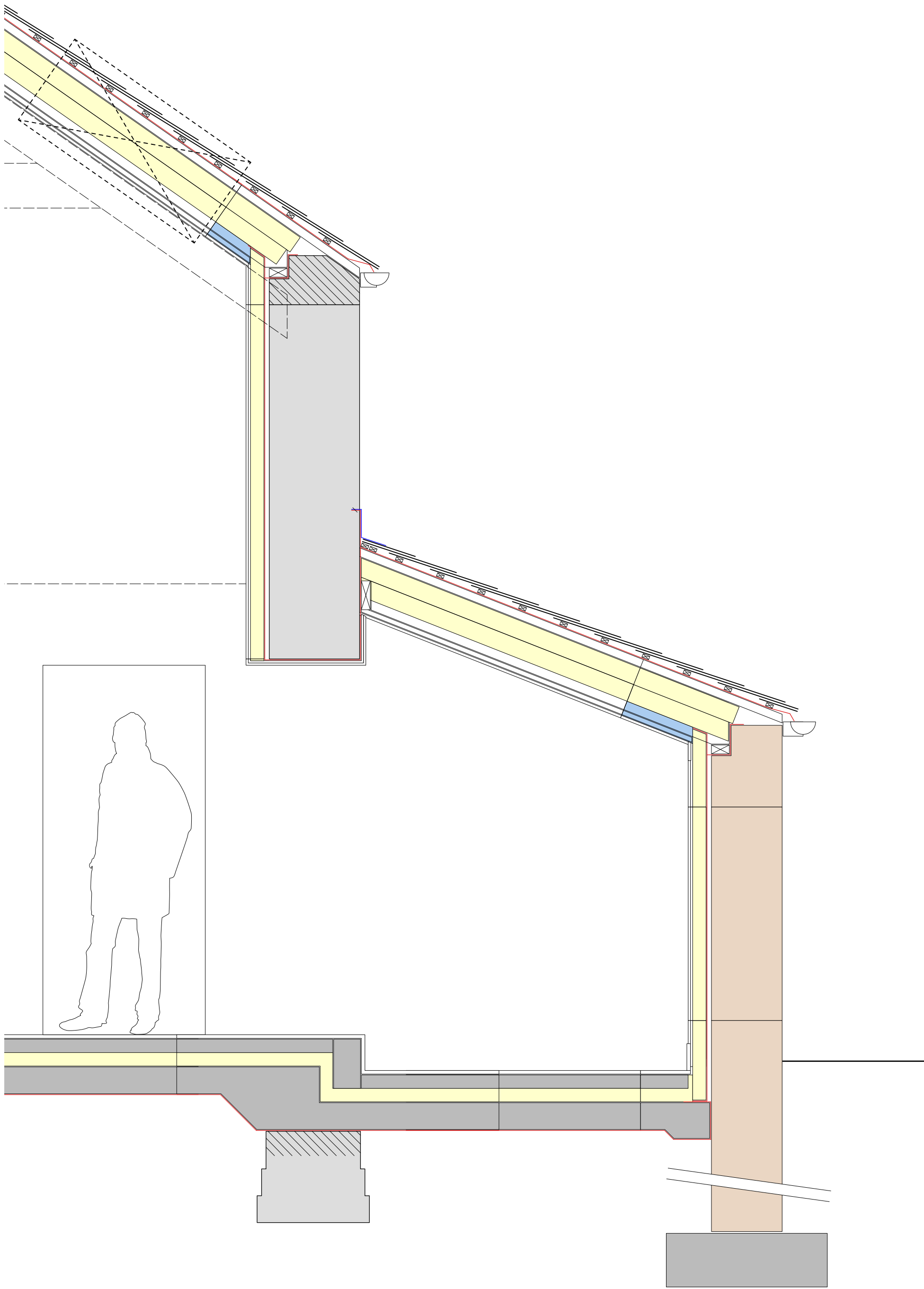
ADDITIONAL STONE

Any additional stone required (to match existing as closely as possible) to be sourced from Brown Bros (Longridge) Ltd: -

Leeming Quarry
Stonyhurst
Clitheroe
Lancashire
BB7 9QY
Tel: 01254 826457



section A



section B



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revision	date	note
A	10.04.2026	discharge of conditions application
B	10.07.2026	specifications amended, quarry name for additional stone as requested by heritage and conservation officer
C	31.07.2026	general preparation note amended for the avoidance of doubt



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project number
24.48

drawing number
dis.03

lower reaps farmhouse

proposed - section details

scale
1 to 20 @ A1

date
april 2025

status
discharge of conditions

revision
C