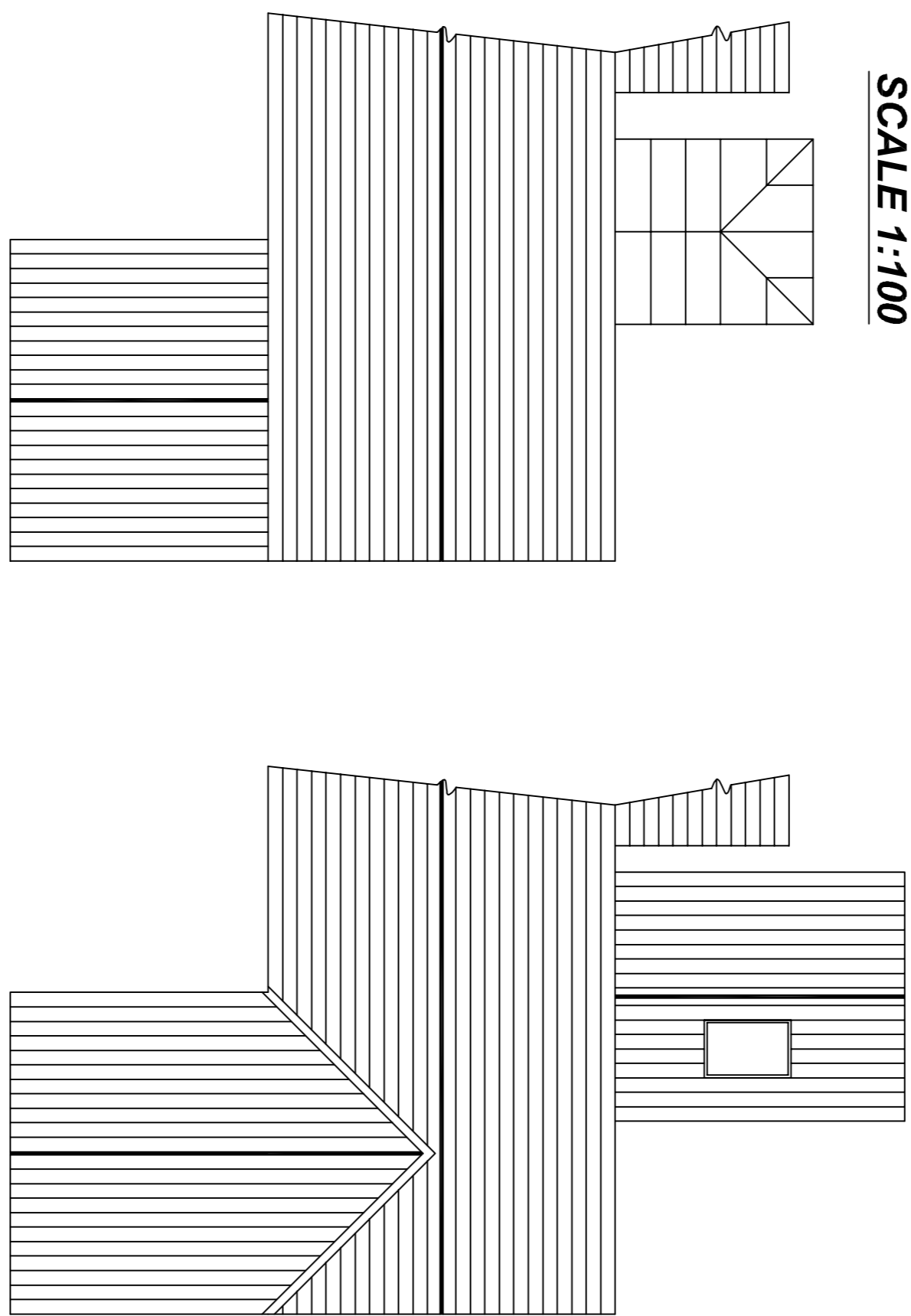
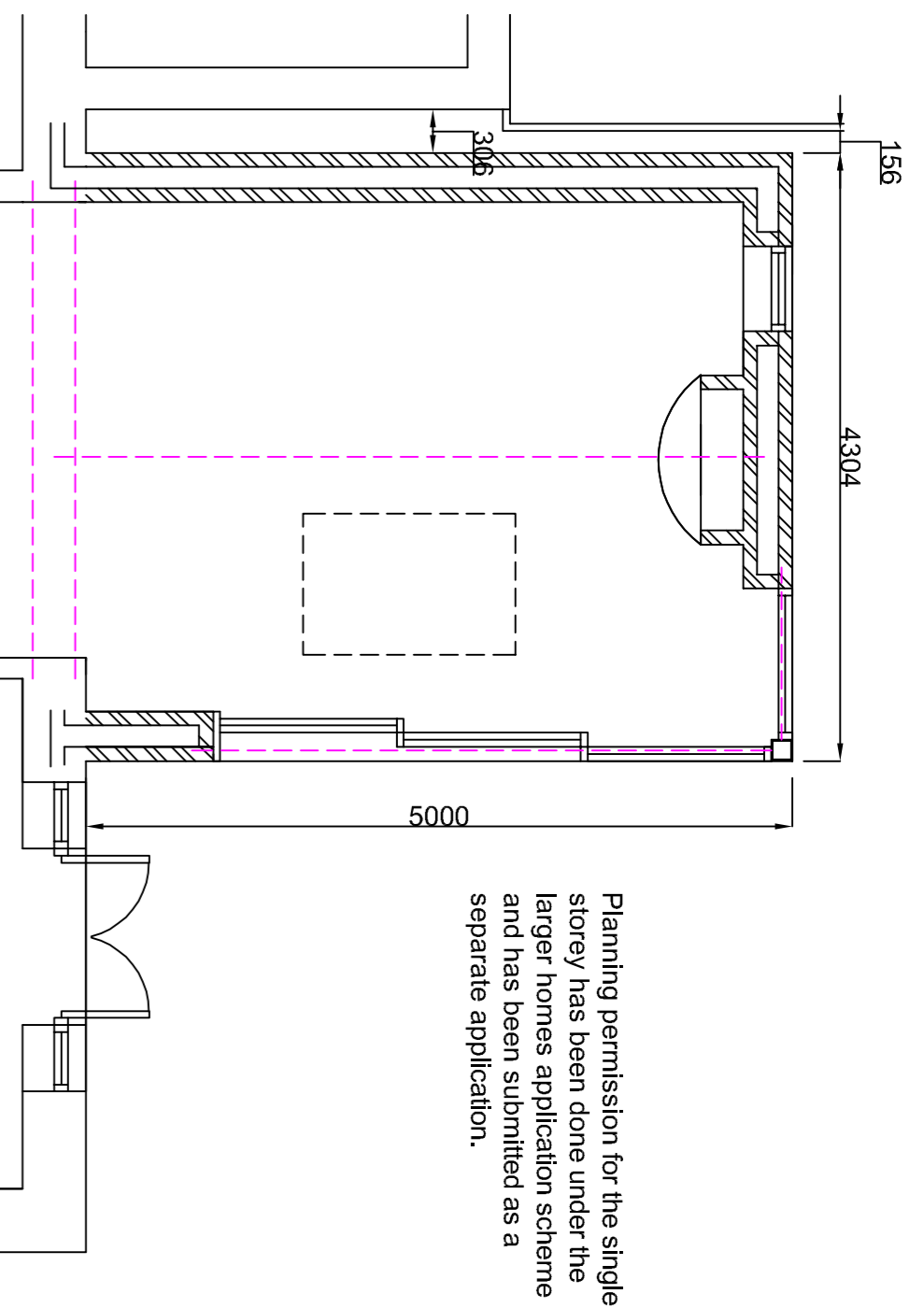


EXISTING FIRST FLOOR PLAN
SCALE 1:100



EXISTING ROOF PLAN
SCALE 1:100

PROPOSED ROOF PLAN
SCALE 1:100

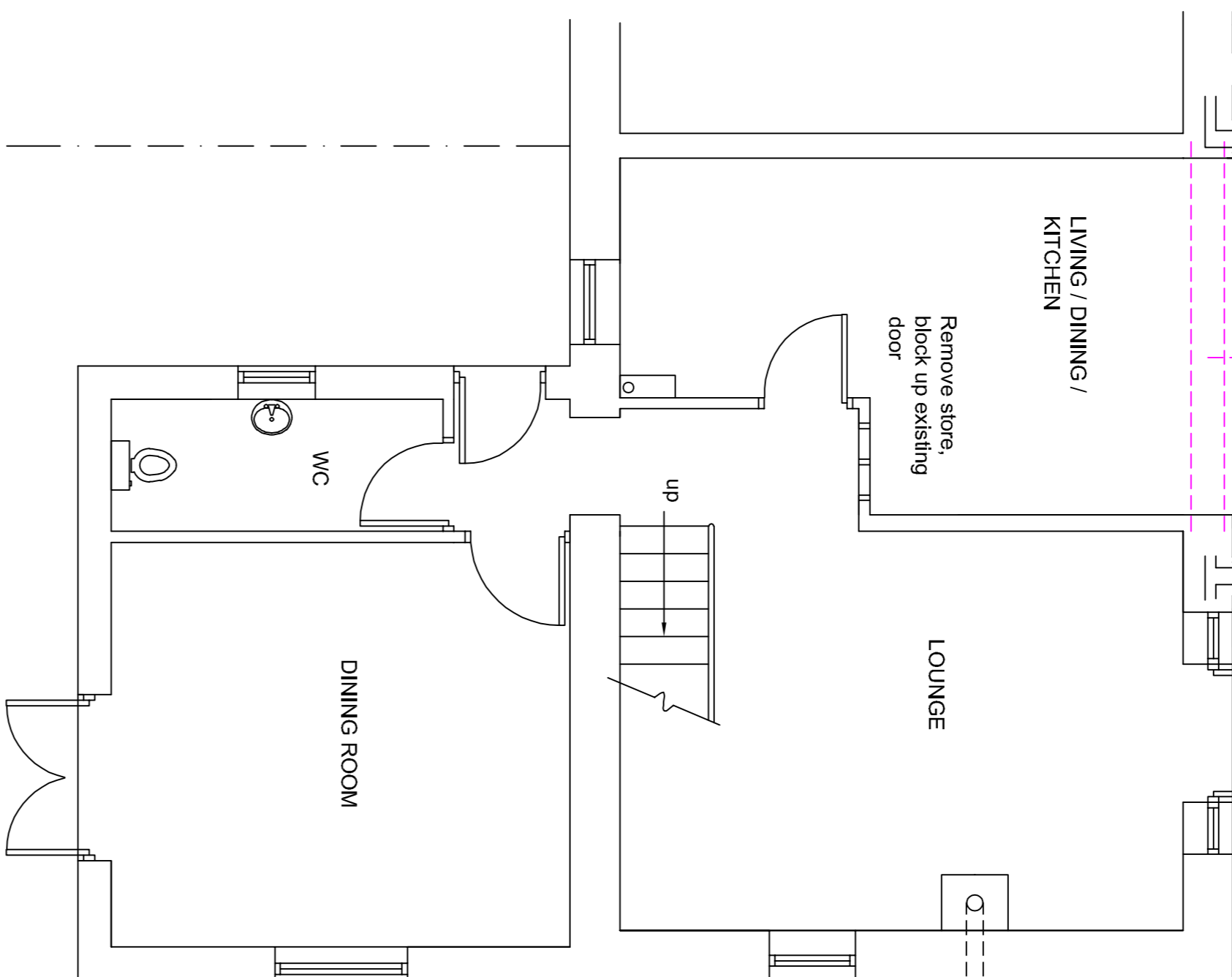


EXISTING EAST ELEVATION
SCALE 1:100

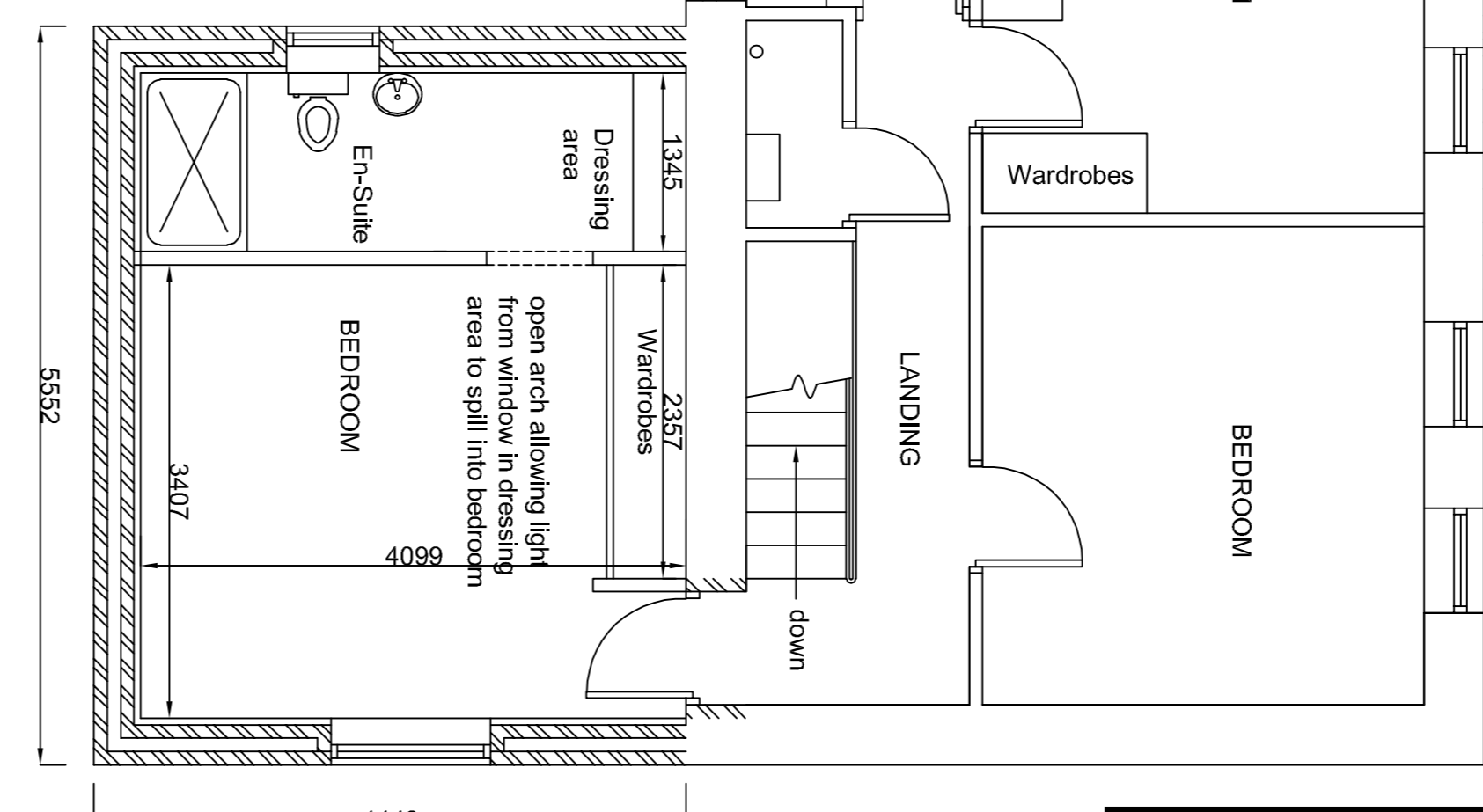
EXISTING NORTH ELEVATION
SCALE 1:100

EXISTING WEST ELEVATION
SCALE 1:100

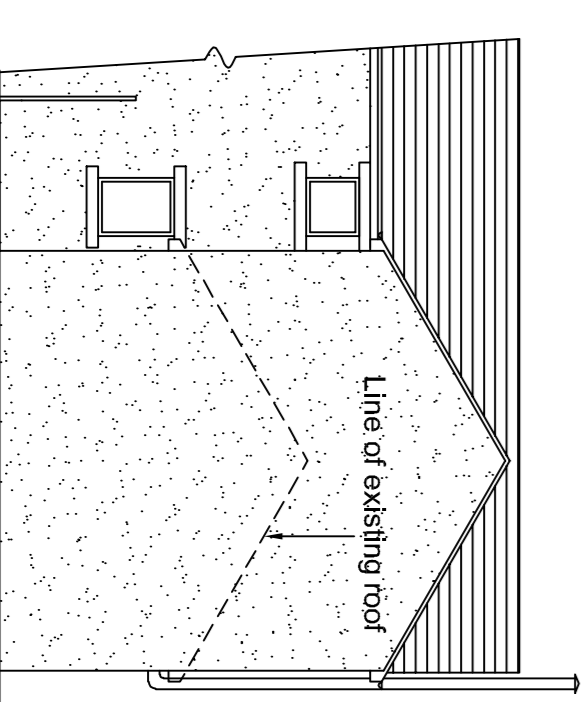
EXISTING SOUTH ELEVATION
SCALE 1:100



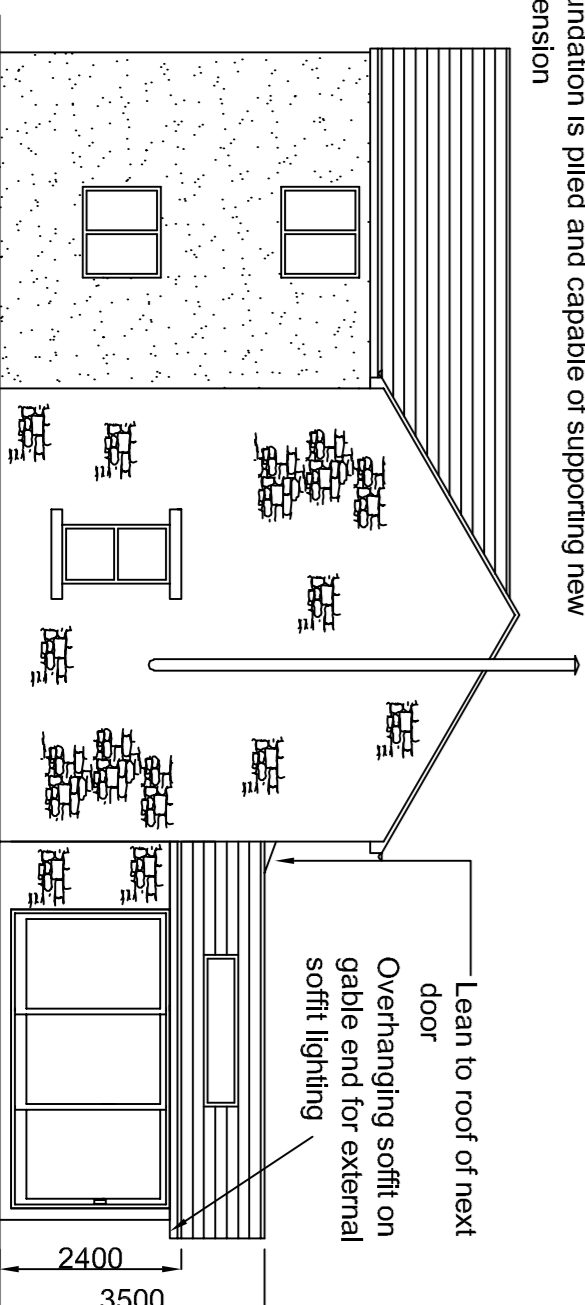
PROPOSED GROUND FLOOR PLAN
SCALE 1:50



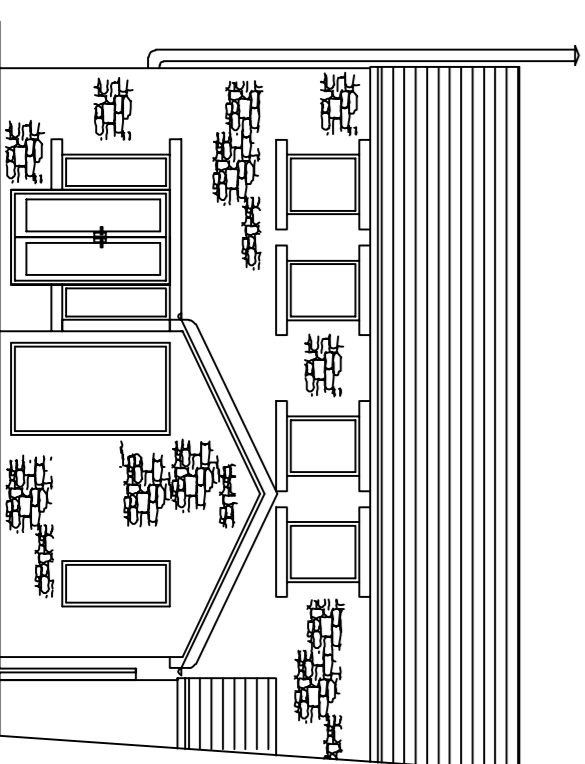
PROPOSED FIRST FLOOR PLAN
SCALE 1:50



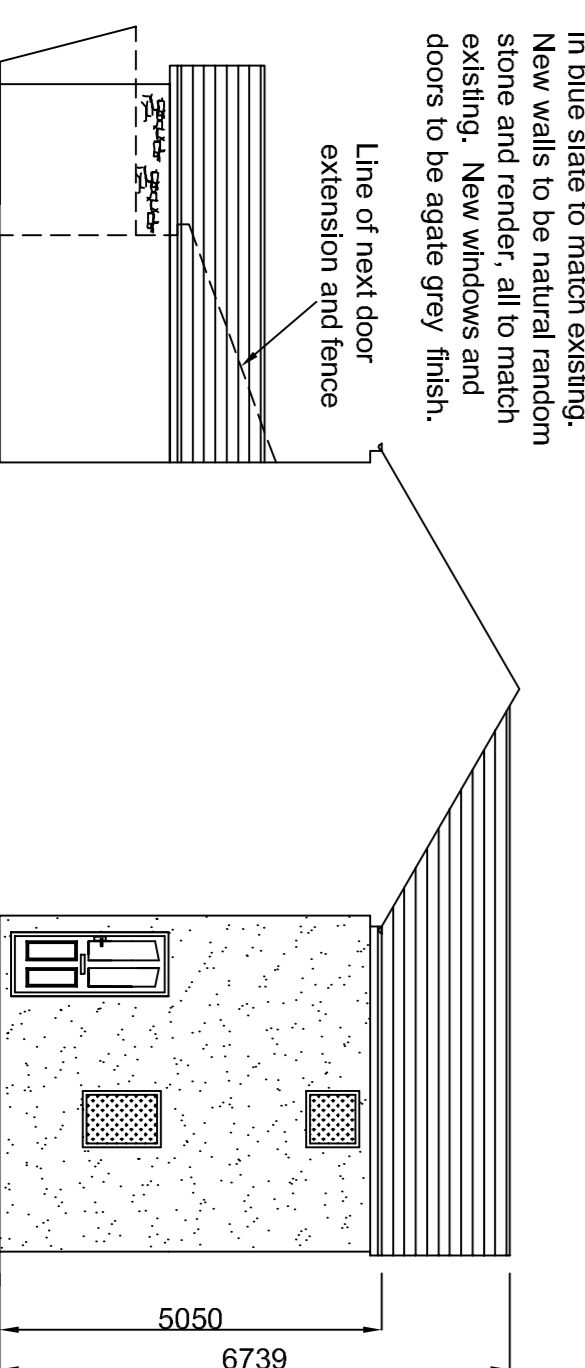
PROPOSED EAST ELEVATION
SCALE 1:100



PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100

Planning permission for the single storey has been done under the larger homes application scheme and has been submitted as a separate application.

NOTES

Client must be fully satisfied that the land to be built on is within full ownership and control and that no legal covenants, agreements or restrictions, caveats or way leaves etc... exist which could adversely or otherwise affect the proposed development and associated works (including rights of service and drainage connections and modifications etc...). The client's solicitors would most likely be able to research these issues. Land Registry and Title Deeds must be double checked by the Client / Client's solicitors, prior to commencement of works on-site.

Client to be responsible for preparing an agreement with adjacent owner under the requirements of the Party Wall Act 1996. This can be prepared via a consultation with the Client's legal Representative.

Client to get approval for the works to be carried out from the original house builder and N.H.B.C before work commences.

All work must be carried out to total satisfaction of Local Authority Building Control Department, and must comply with all current Building Regulations and relevant Codes of Practice.

All workmanship and materials must comply with current Building Regulations, British Standards and Codes of Practice etc... All materials must be fixed, applied or mixed in accordance with manufacturers instructions or detailed specifications.

Building Control Officer from Local Authority to inspect existing ground conditions to determine foundation type and design if different from those stated on the drawing.

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Client is responsible for contacting home insurance company to inform them that works will be occurring and give them a start and finish date where possible.

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<p>FOSTER & WALSH Architectural Services Ltd Clearly Interiors, unit 3 Holme Road Burnley, BB12 0BJ Mobile: 07576835476 E:- fosterandwalsharchitecturaltd@gmail.com</p>	
<p>REVISIONS</p>	<p>Rev A:- Dimensions added May 2026</p>
<p>PROJECT</p>	<p>Proposed first floor extension over existing ground floor extension 53 Riverside, Low Moor Clitheroe</p>
<p>DRAWING NUMBER</p>	<p>RS_L M 53 / 1FF(A)</p>
<p>DRAWING TITLE</p>	<p>Planning drawing</p>
<p>SCALE</p>	<p>1:100, 1:50 A1 L.F</p>
<p>DATE</p>	<p>APR 2026</p>