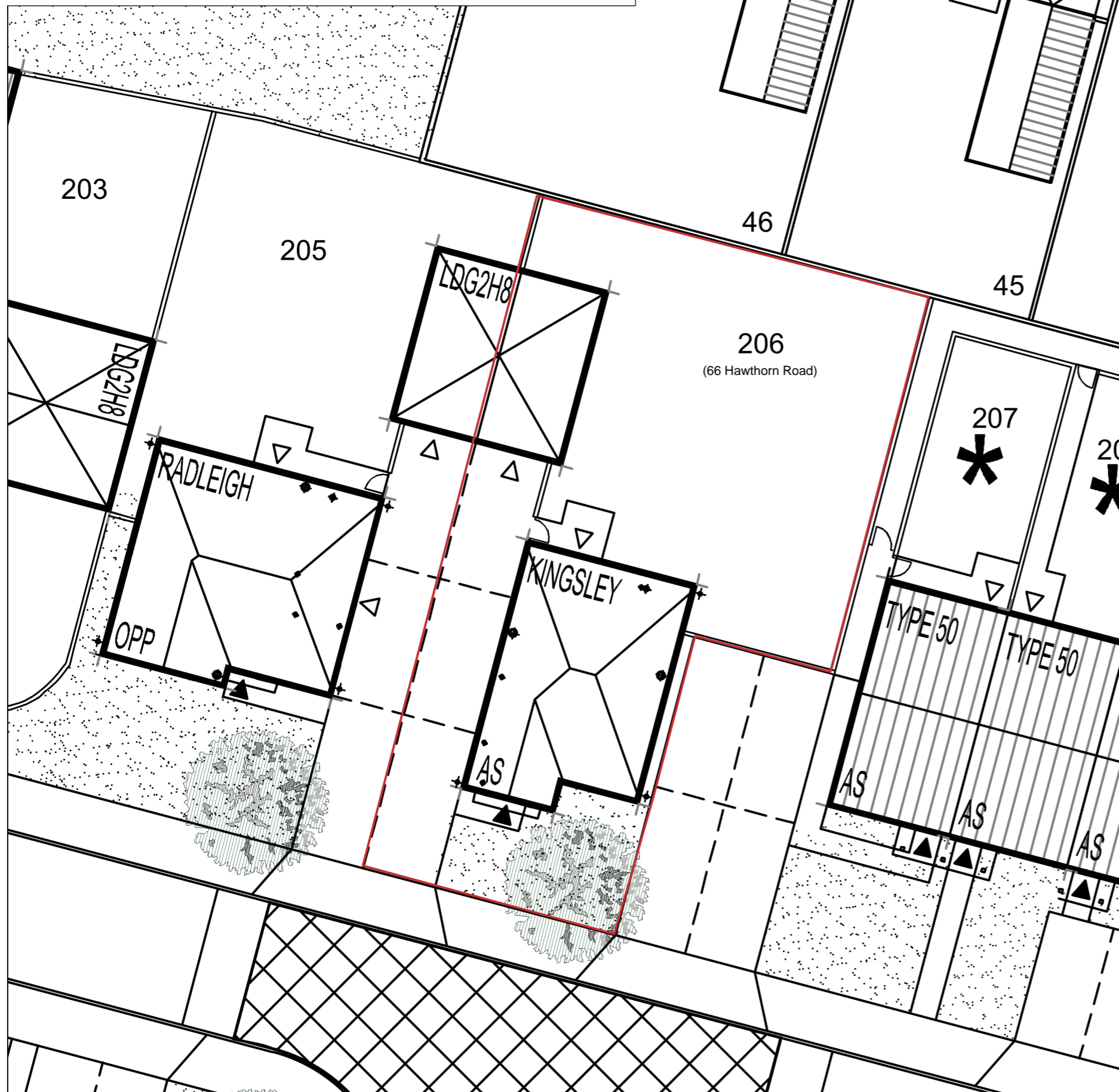


SITE PLAN - PLOT 206 (66 Hawthorn Road)

The Brooks, Whalley Road, Barrow - Plot 206 extract from SL-01 Site Layout Rev F



Source: detail taken directly from SL-01 Proposed Site Layout, Rev F (Baldwin Design Consultancy Ltd), drawing no. DWH/WRB/SL-01 - 1:500 @ A0.

Extract: cropped and scaled to Plot 206 and its immediate context (Plots 203-212, Radleigh / Kingsley / Type 50 / Maidstone). No markup applied.

Accuracy limitation: extracted from the planning site layout; not a measured survey, legal title plan or construction drawing. Do not scale.

SITE PLAN – PLOT 206

The Brooks, Whalley Road, Barrow – extract from SL-01 Site Layout Rev F

PLAN NOTES

- Detail taken directly from SL-01 Proposed Site Layout, Rev F (Baldwin Design Consultancy Ltd), drawing no. DWH/WRB/SL-01 – 1:500 @ A0.
- Extract cropped and scaled to Plot 206 and its immediate context (Plots 203–212; Radleigh / Kingsley / Type 50 / Maidstone). No markup applied.
- Plot 206 and the LDG2H8 dual-branded twin-garage house type are shown for context to this garage-conversion application.
- Sheet cropped at the plot boundary; area to the right of the line is omitted.
- Plot 206 = 66 Hawthorn Road, Clitheroe (this application site).

GENERAL NOTES

- DO NOT SCALE. Use figured dimensions only and check on site.
- This is an extract from the planning site layout – not a measured survey, legal title plan, or construction drawing.
- North as indicated on the plan. Roads and plots named for identification only.
- Refer to drawings P-001 to P-101 for the application proposals (location plan, existing/proposed site & block plans, and garage plan & elevations).

PREPARED BY
[AGENT / APPLICANT – INSERT]

PROJECT
Conversion of half of shared garage to habitable use – new door, window & partition

SITE
66 Hawthorn Road, Clitheroe, Ribble Valley [postcode TBC]

DRAWING TITLE
SITE PLAN – PLOT 206 (context extract)

STATUS
PLANNING

SCALE / DATE
1:500 @ A0 (extract – do not scale) / Jun 2026

DRG. NO. / REV
SL-01 (source: DWH/WRB/SL-01) / v4



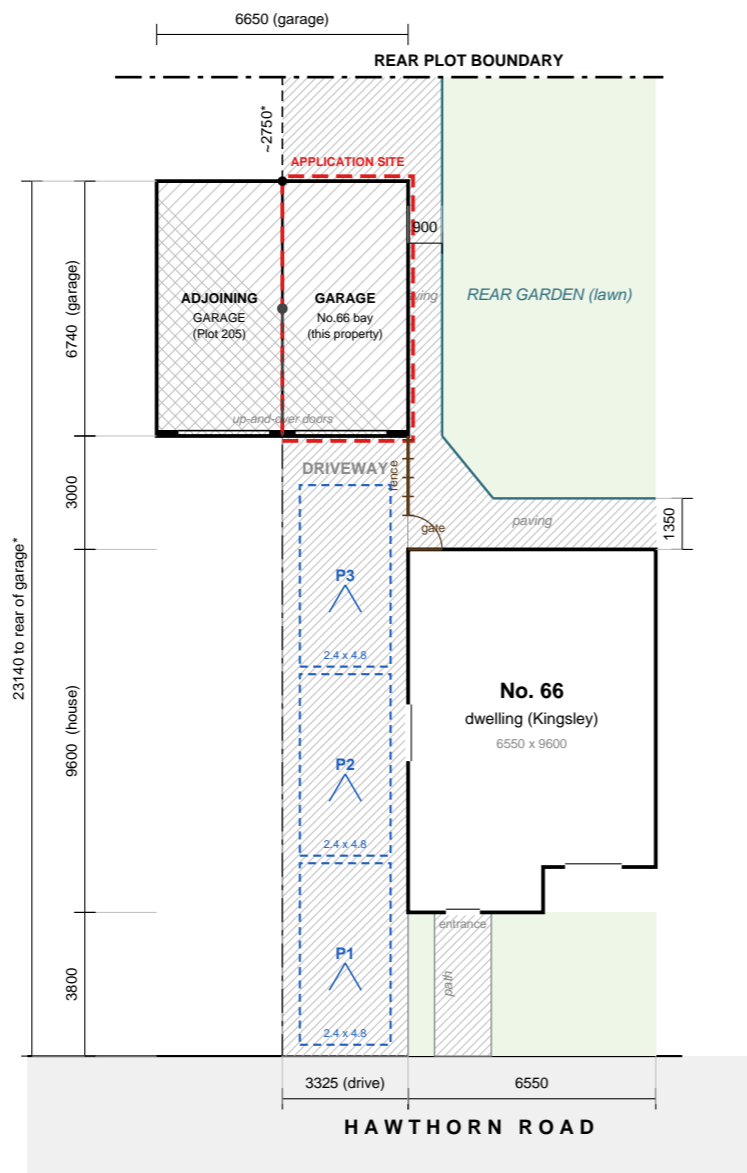
north per site layout

KEY

- Application site - No.66 garage bay (red line)
- Application building (shared garage)
- Existing dwelling
- Hard surfacing / driveway & paving
- Car parking space (2.4 x 4.8)
- Paving / lawn boundary
- Rear plot boundary
- Wooden fence & gate

NOTES

1. DO NOT SCALE. Figured dimensions only; check on site. Dims in mm.
2. Driveway from house wall to centreline of the (shared) garage building (3325 wide), running to the road.
3. Hard paving: behind the garage up to the rear boundary; down the garden side of the garage (900 from wall); and a 1350 deep area behind the house; angled to suit. Central area laid to lawn.
4. Rear plot boundary projected at right angles from centre of rear garage wall, ~2750 behind garage (scaled from plot plan extract*).
5. Wooden fence & gate close the gap between garage and house; gate at the house-wall end.
6. House (Kingsley) 6550 x 9600 & shared twin garage 6650 x 6740 per drg 19_0012; boundary runs through garage - No.66 owns right-hand bay.
7. Parking: 3 No. off-street spaces (2.4 x 4.8) on the driveway, retained.
8. Red line = application site: the No.66 garage bay only (half of the shared twin garage) being converted.
9. North per SL-01 site layout orientation (Plot 206); ~18 deg off sheet.
10. * = scaled / assumed; all distances TBC by measured survey.



Scale 1:200 (do not scale - figured dims only)



PREPARED BY
[AGENT / APPLICANT - INSERT]

PROJECT
Conversion of half of shared garage to habitable use - new door, window & partition

SITE
66 Hawthorn Road
Clitheroe, Ribbles Valley [postcode TBC]

CLIENT / APPLICANT
[Applicant name - CONFIRM]

DRAWING TITLE
EXISTING SITE / BLOCK PLAN

STATUS
PLANNING

SCALE @ A3
1:200

DATE
Jun 2026

DRG. NO.
P-002

REV
P14

REVISIONS		
Rev	Description	Date
P09	Garage/house aligned; red line removed; house footprint corrected.	Jun 26
P10	Rear plot boundary added; driveway on garage centreline.	Jun 26
P11	Driveway re-set house wall to garage centreline; paving & fence/gate added.	Jun 26
P12	Paving extended behind garage & behind house; gate to house-wall end; central lawn.	Jun 26
P13	Front path added; north corrected to true north (~18 deg CW) per SL-01 layout.	Jun 26
P14	Red-line application site added around the No.66 garage bay only (half of shared garage).	Jun 26

PREPARED BY
[AGENT / APPLICANT – INSERT]

PROJECT
Conversion of half of shared garage to habitable use – new door, window & partition

SITE
66 Hawthorn Road
Clitheroe, Ribbles Valley [PC TBC]

CLIENT / APPLICANT
[Applicant name – CONFIRM]

DRAWING TITLE
EXISTING GARAGE – PLAN & ELEVATIONS

STATUS
PLANNING

SCALE @ A3
Plan 1:50 / Elev 1:100
(nominal – do not scale)

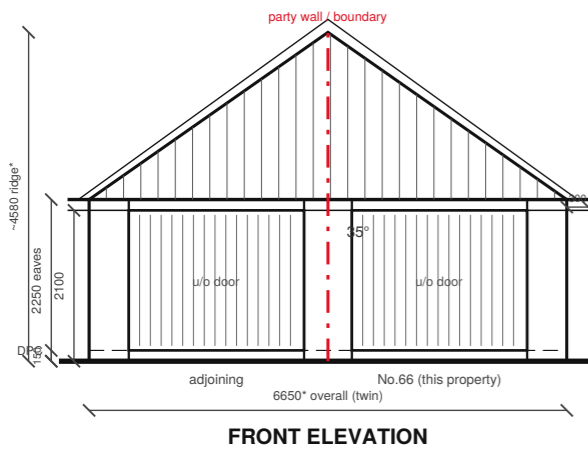
DATE
Jun 2026

DRG. NO.
P-100

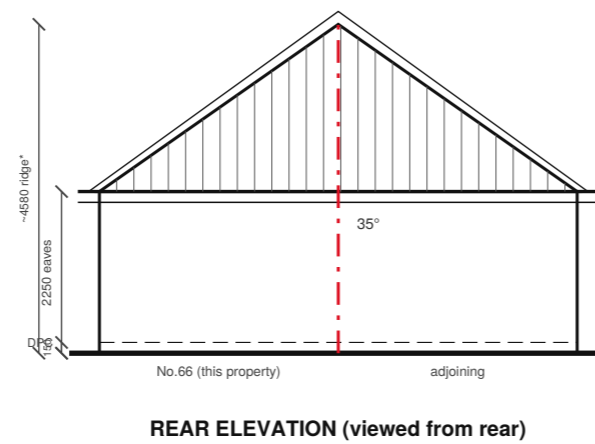
REV
P07

REVISIONS

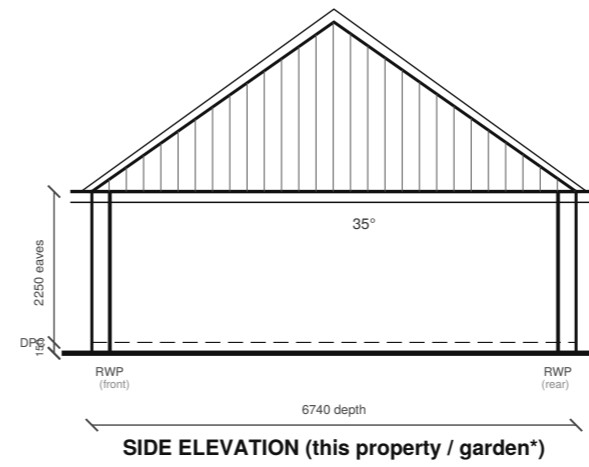
Rev	Description	Date
P01	First issue for planning	Jun 26
P02	Corrected to SHARED (twin) garage; party wall.	Jun 26
P03	Ownership: this property = RIGHT-hand bay.	Jun 26
P04	Rear elevation corrected (this bay LEFT from rear).	Jun 26
P05	Site/block plan revised to actual layout.	Jun 26
P06	Location plan rebuilt to OS basemap.	Jun 26
P07	Elevations redrawn to mfr drg 19_0012 (35° gable, fascia/soffit, RWP's). Internal features + rear/side piers added. Solid stud partition (no door). New rear door (R-aligned) + 630x1800 side window per markup.	Jun 26



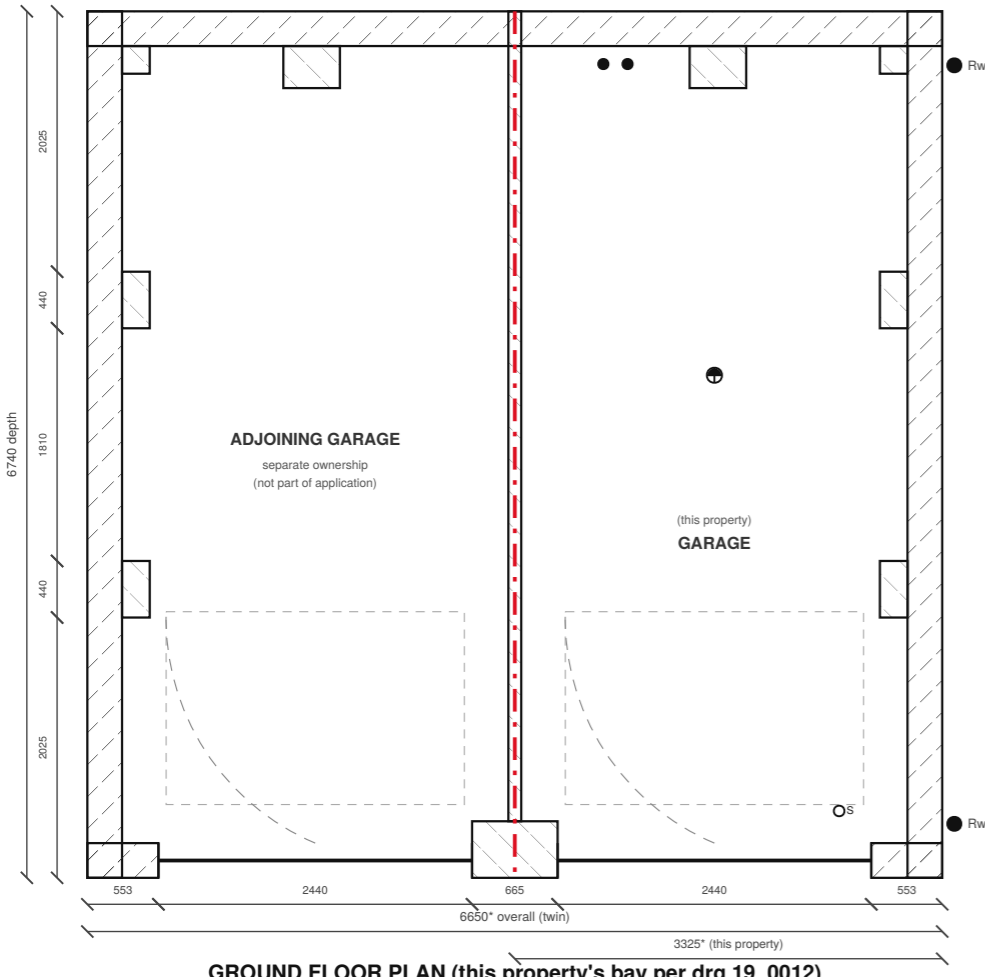
FRONT ELEVATION



REAR ELEVATION (viewed from rear)



SIDE ELEVATION (this property / garden*)



GROUND FLOOR PLAN (this property's bay per drg 19_0012)

KEY

- Facing brickwork (ext leaf)
- Lightweight aggregate blockwork / piers
- New stud partition / new walling
- Plot 66 / party boundary
- RWP / socket / pendant light / switch

NOTES

- DO NOT SCALE. Figured dims only; CHECK ON SITE. Dims in mm.
- Garage is one half of a SHARED (twin) garage; plot boundary runs through the building (party wall). This property owns the bay shown; adjoining bay = separate ownership, not in this app.
- Building & internal layout per manufacturer drg 19_0012 (Barratt/DWH dual-branded twin garage 6x3, LDG2H8 / GLD8).
- Roof 35° pitch; 150 PVC fascia, 300 PVC soffit, PVC RW goods.
- Solid brick piers full height, tied to outer leaf (Ancon SPS CJ ties @375 c/s); lateral restraint straps at ceiling level.
- Garage door frame 2286 x 2200 (o/a 2426 x 2245), behind piers.
- Sockets / pendant light / switch provided only when garage is on the same plot as the house. RWP positions to be confirmed.
- No existing side door. * = assumed / to be confirmed by survey.
- No change to front (public) elevation or adjoining half.

MATERIALS (existing – to be matched):

Walls: facing brickwork. Roof: grey concrete interlocking tiles.
Fascia/soffit/gutters/RWPs: black. Up-and-over doors: white.
New window: 630 x 1800 white uPVC fixed flush casement (Vufold); 150mm drip sill. New rear door: white uPVC to match dwelling*.

PREPARED BY
[AGENT / APPLICANT – INSERT]

PROJECT
Conversion of half of shared garage to habitable use – new door, window & partition

SITE
66 Hawthorn Road
Clitheroe, Ribbles Valley [PC TBC]

CLIENT / APPLICANT
[Applicant name – CONFIRM]

DRAWING TITLE
PROPOSED GARAGE – PLAN & ELEVATIONS

STATUS
PLANNING

SCALE @ A3
Plan 1:50 / Elev 1:100
(nominal – do not scale)

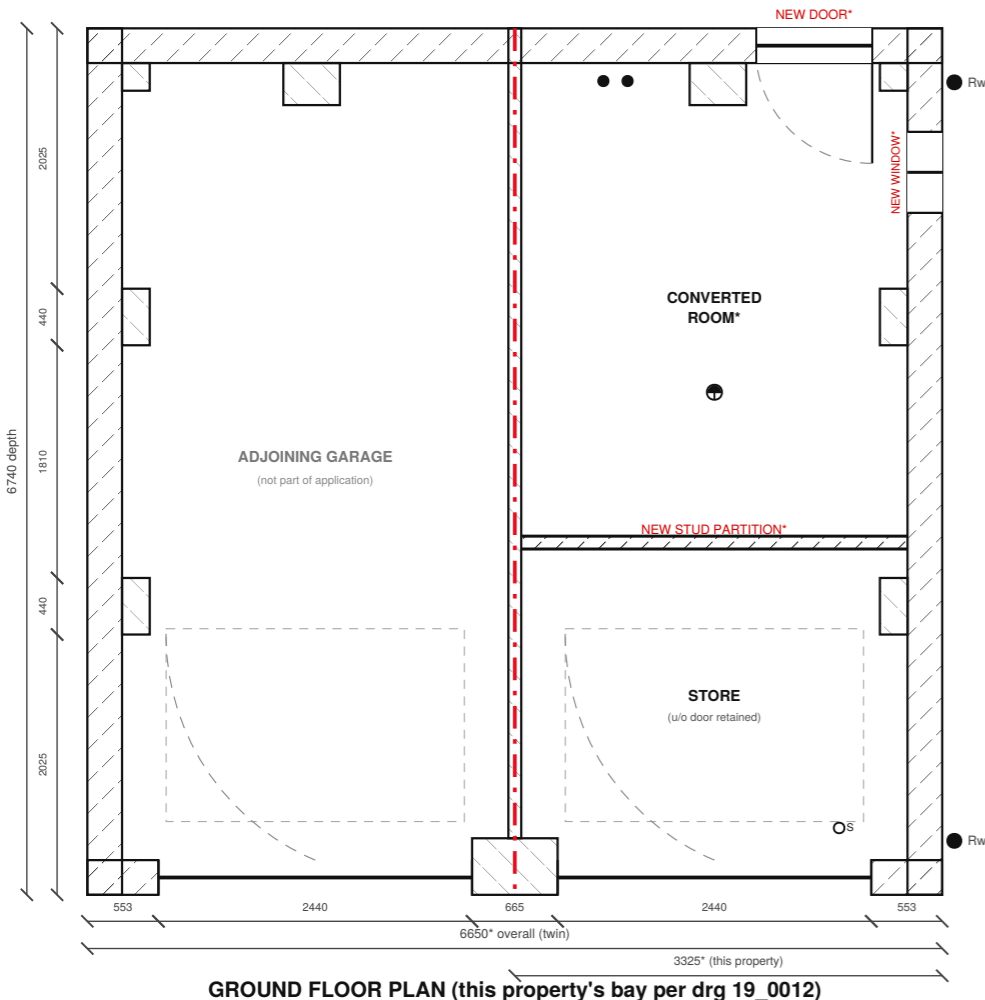
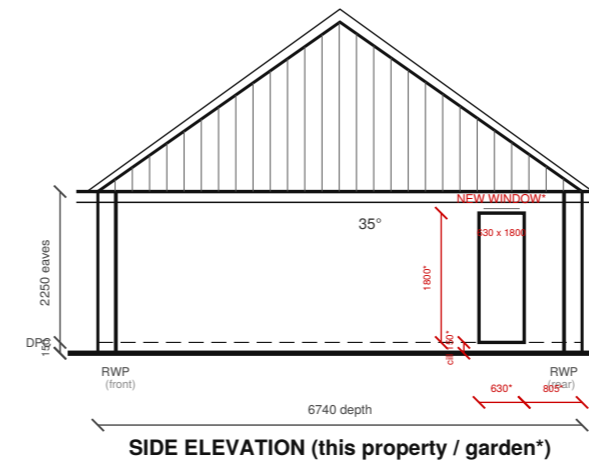
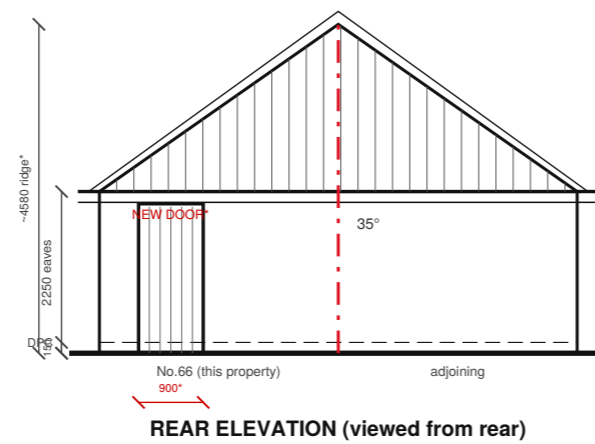
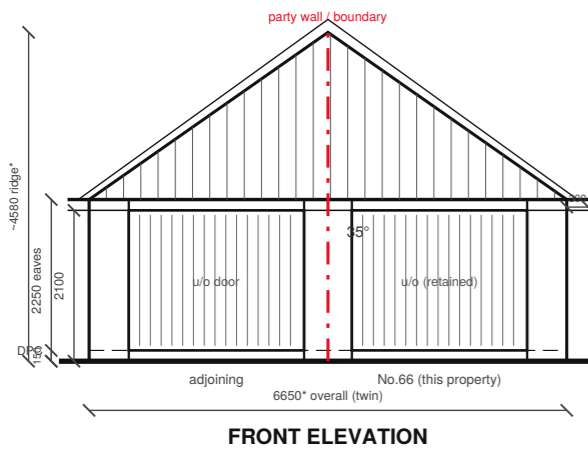
DATE
Jun 2026

DRG. NO.
P-101

REV
P07

REVISIONS

Rev	Description	Date
P01	First issue for planning	Jun 26
P02	Corrected to SHARED (twin) garage; party wall.	Jun 26
P03	Ownership: this property = RIGHT-hand bay.	Jun 26
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KEY

- Facing brickwork (ext leaf)
- Lightweight aggregate blockwork / piers
- New stud partition / new walling
- Plot 66 / party boundary
- RWP / socket / pendant light / switch

NOTES

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- Solid brick piers full height, tied to outer leaf (Ancon SPS CJ ties @375 c/s); lateral restraint straps at ceiling level.
- Garage door frame 2286 x 2200 (o/a 2426 x 2245), behind piers.
- Sockets / pendant light / switch provided only when garage is on the same plot as the house. RWP positions to be confirmed.
- No existing side door. * = assumed / to be confirmed by survey.
- PROPOSED: new stud partition forms STORE (front, w/o door retained) + CONVERTED ROOM (rear); new rear pedestrian door; new window to side (garden) gable. No change to front (public) elevation or to the adjoining (neighbour's) half.

MATERIALS (existing – to be matched):

Walls: facing brickwork. Roof: grey concrete interlocking tiles.
Fascia/soffit/gutters/RWPs: black. Up-and-over doors: white.
New window: 630 x 1800 white uPVC fixed flush casement (Vufold);
150mm drip cill. New rear door: white uPVC to match dwelling*.