

Design & Access Statement

Extension to existing storage building

Brook House Farm, Mitton Road, Whalley, Clitheroe BB7 9PF

On behalf of
Jonathan Townson

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This statement has been structured with reference to CABE best practice guidance; Design & Access Statements – how to write read and use them. CABE 2006. The document also includes an assessment of the development proposal in relation to national, regional and local planning policies.

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Plans & Drawings

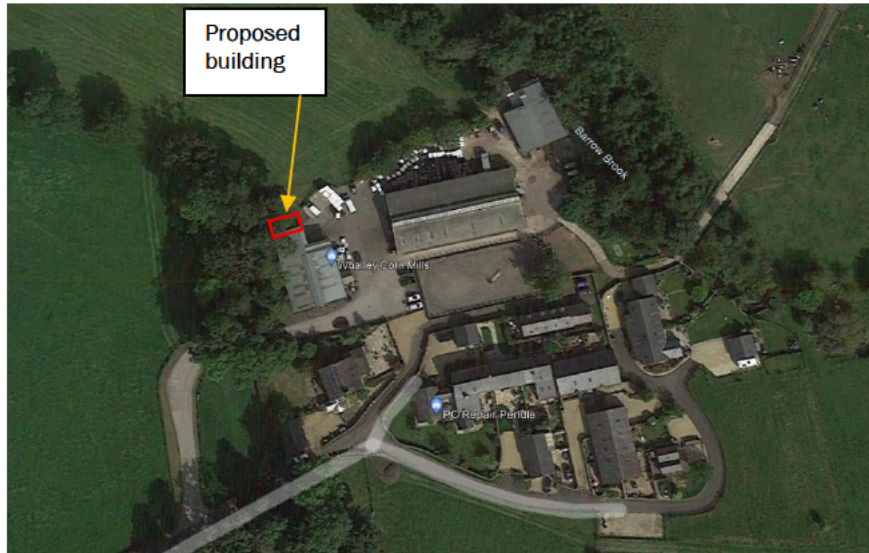
SECTION 1 BACKGROUND

- 1.1** This statement supports a planning application for the extension of an existing storage building associated with Whalley Corn Mills, Brook House Farm, Mitton Road, Whalley on behalf of Jonathan Townson. The document should be read in conjunction with the attached planning application forms, plans and supporting documents.
- 1.2** Whalley Corn Mills is a long established retail supplier of fine quality pet and animal foods and accessory goods. The growth in the sale of bulky equine bedding and fodder means additional storage is required to store the products securely and to avoid spoilage from adverse weather.
- 1.3** The proposed development will include:
- The construction of a 6.10m x 9.50m extension to an existing storage building.

SECTION 2 CONTEXT OF SITE

Assessment

- 2.1** Brook House Farm lies approximately 1 mile north of Whalley east of Mitton Road.



- 2.2** The location of the proposed building is to the north of the existing Whalley Corn Mill retail unit. The site is located outside the Forest of Bowland Natural Landscape. The character of the surrounding area is undulating pasture. Field boundaries are walls, hedges and scattered boundary trees. Established woodland screens the building from the west. Farm and equine buildings to the east ensure the building will not be visible from any public viewpoints.



- 2.3 The site is currently a hardcore area used to store wooden pallets. No protected species or habitats will be affected by the development.
- 2.4 The site is located in Flood Zone 1 on the Environment Agency Flood Map for Planning with a low risk of flooding. Surface water flood maps show no risk of surface water flooding at the annual likelihood of 1 in 1000 scenario.
- 2.5 There are no public footpaths within the site.

Proposed development

- 2.6 The proposed development will involve the construction of an additional 6.10m bay to the existing building. The extension will be accessed off the existing yard and will provide additional storage for fodder and bedding products which are vulnerable to spoilage in adverse weather conditions.

SECTION 3 DESIGN PRINCIPLES & CONCEPT

Design

- 3.1** The design of the building and choice of materials will ensure the extension is consistent with the existing buildings within the site.
- 3.2** The building will be of steel frame construction with brick cladding to 2450mm on the northern and western sides with steel cladding above. The eastern elevation will be a steel roller shutter door with a 2 metre return built with brick and clad over as the northern and western sides.
- 3.3** The roofing material will be steel profile sheets.
- 3.4** A steel roller shutter door will ensure security.

Appearance

- 3.5** The design of the extension will be as the existing building. The height is as the existing building. Materials and design will be as the existing building.

Scale

- 3.6** The building measures:
- | | |
|------------------|-------|
| Depth: | 9.50m |
| Width: | 6.10m |
| Height to eaves: | 4.20m |
| Height to ridge: | 6.00m |

SECTION 4 ACCESS

Access

- 4.1** Access to the site is via an existing track off Mitton Road.
- 4.2** There is adequate space for loading/unloading away from the parking associated with the retail unit.
- 4.3** Entry and exit for vehicles will be in a forward direction.
- 4.4** The proposed development will not result in any additional vehicle movements

SECTION 5 PLANNING POLICY CONTEXT

Planning History

5.0 Ribble Valley Borough Council Web search shows the following applications which are relevant to this application.

3/2021/0108 Proposed extension to create a covered open storage area.
Approved

3/2018/0586 Change of use of part of an existing agricultural building to retail storage.
Approved

3/2006/0125 New access/entrance to existing building to provide additional shelter and display space. Resubmission.
Approved

National Planning Policy

5.1 National Planning Policy is contained within the National Planning Policy Framework (NPPF).

Relevant policies within the Framework which are applicable to this application are:

Supporting a prosperous rural economy

83. Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;
- b) the development and diversification of agricultural and other land-based rural businesses;
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.

The proposed storage will enable an existing local business to grow and secure employment in the area. The proposed development incorporates a design and materials which is congruous with the setting and function of the building.

7. Requiring good design

56. The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

61. Although visual appearance and the architecture of individual buildings are very important factors, securing high quality and inclusive design goes beyond aesthetic considerations. Therefore, planning policies and decisions should address the connections between people and places and the integration of new development into the natural, built and historic environment.

64. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

The design of the building is based on the existing building to which it will extend. Materials are the same. Height is the same.

Local Planning Policy

Core Strategy 2008 – 2028 A Local Plan for Ribble Valley

5.2 POLICY DMG2: STRATEGIC CONSIDERATIONS

DEVELOPMENT SHOULD BE IN ACCORDANCE WITH THE CORE STRATEGY DEVELOPMENT STRATEGY AND SHOULD SUPPORT THE SPATIAL VISION.

1. DEVELOPMENT PROPOSALS IN THE PRINCIPAL SETTLEMENTS OF CLITHEROE, LONGRIDGE AND WHALLEY AND THE TIER 1 VILLAGES SHOULD CONSOLIDATE, EXPAND OR ROUND-OFF DEVELOPMENT SO THAT IT IS CLOSELY RELATED TO THE MAIN BUILT UP AREAS, ENSURING THIS IS APPROPRIATE TO THE SCALE OF, AND IN KEEPING WITH, THE EXISTING SETTLEMENT.

WITHIN THE TIER 2 VILLAGES AND OUTSIDE THE DEFINED SETTLEMENT AREAS DEVELOPMENT MUST MEET AT LEAST ONE OF THE FOLLOWING CONSIDERATIONS:

1. THE DEVELOPMENT SHOULD BE ESSENTIAL TO THE LOCAL ECONOMY OR SOCIAL WELL BEING OF THE AREA.
2. THE DEVELOPMENT IS NEEDED FOR THE PURPOSES OF FORESTRY OR AGRICULTURE.
3. THE DEVELOPMENT IS FOR LOCAL NEEDS HOUSING WHICH MEETS AN IDENTIFIED NEED AND IS SECURED AS SUCH.
4. THE DEVELOPMENT IS FOR SMALL SCALE TOURISM OR RECREATIONAL DEVELOPMENTS APPROPRIATE TO A RURAL AREA.
5. THE DEVELOPMENT IS FOR SMALL-SCALE USES APPROPRIATE TO A RURAL AREA WHERE A LOCAL NEED OR BENEFIT CAN BE DEMONSTRATED.
6. THE DEVELOPMENT IS COMPATIBLE WITH THE ENTERPRISE ZONE DESIGNATION.

WITHIN THE OPEN COUNTRYSIDE DEVELOPMENT WILL BE REQUIRED TO BE IN KEEPING WITH THE CHARACTER OF THE LANDSCAPE AND ACKNOWLEDGE THE SPECIAL QUALITIES OF THE AREA BY VIRTUE OF ITS SIZE, DESIGN, USE OF MATERIALS, LANDSCAPING AND SITING. WHERE POSSIBLE NEW DEVELOPMENT SHOULD BE ACCOMMODATED THROUGH THE RE-USE OF EXISTING BUILDINGS, WHICH IN MOST CASES IS MORE APPROPRIATE THAN NEW BUILD.

IN PROTECTING THE DESIGNATED AREA OF OUTSTANDING NATURAL BEAUTY THE COUNCIL WILL HAVE REGARD TO THE ECONOMIC AND SOCIAL WELL BEING OF THE AREA. HOWEVER THE MOST IMPORTANT CONSIDERATION IN THE ASSESSMENT OF ANY DEVELOPMENT PROPOSALS WILL BE THE PROTECTION, CONSERVATION AND ENHANCEMENT OF THE LANDSCAPE AND CHARACTER OF THE AREA AVOIDING WHERE POSSIBLE HABITAT FRAGMENTATION. WHERE POSSIBLE NEW DEVELOPMENT SHOULD BE ACCOMMODATED THROUGH THE RE-USE OF EXISTING BUILDINGS, WHICH IN MOST CASES IS MORE APPROPRIATE THAN NEW BUILD.

DEVELOPMENT WILL BE REQUIRED TO BE IN KEEPING WITH THE CHARACTER OF THE LANDSCAPE AND ACKNOWLEDGE THE SPECIAL QUALITIES OF THE AONB BY VIRTUE OF ITS SIZE, DESIGN, USE OF MATERIAL, LANDSCAPING AND SITING. THE AONB MANAGEMENT PLAN SHOULD BE CONSIDERED AND WILL BE USED BY THE COUNCIL IN DETERMINING PLANNING APPLICATIONS.

FOR THE PURPOSES OF THIS POLICY THE TERM SETTLEMENT IS DEFINED IN THE GLOSSARY. CURRENT SETTLEMENT BOUNDARIES WILL BE UPDATED IN SUBSEQUENT DPDS.

The development is needed for the efficient use of a well-established retail business. The business provides employment to the area. The proposed building will provide a secure store for fodder and bedding products.

POLICY DMB1: SUPPORTING BUSINESS GROWTH AND THE LOCAL ECONOMY

PROPOSALS THAT ARE INTENDED TO SUPPORT BUSINESS GROWTH AND THE LOCAL ECONOMY WILL BE SUPPORTED IN PRINCIPLE. DEVELOPMENT PROPOSALS WILL BE DETERMINED IN ACCORD WITH THE CORE STRATEGY AND DETAILED POLICIES OF THE LDF AS APPROPRIATE.

THE BOROUGH COUNCIL MAY REQUEST THE SUBMISSION OF SUPPORTING INFORMATION FOR FARM DIVERSIFICATION WHERE APPROPRIATE.

THE EXPANSION OF EXISTING FIRMS WITHIN SETTLEMENTS WILL BE PERMITTED ON LAND WITHIN OR ADJACENT TO THEIR EXISTING SITES, PROVIDED NO SIGNIFICANT ENVIRONMENTAL PROBLEMS ARE CAUSED AND THE EXTENSION CONFORMS TO THE OTHER PLAN POLICIES OF THE LDF. THE EXPANSION OF ESTABLISHED FIRMS ON LAND OUTSIDE SETTLEMENTS WILL BE ALLOWED PROVIDED IT IS ESSENTIAL TO MAINTAIN THE EXISTING SOURCE OF EMPLOYMENT AND CAN BE ASSIMILATED WITHIN THE LOCAL LANDSCAPE. THERE MAY BE OCCASIONS WHERE DUE TO THE SCALE OF THE PROPOSAL RELOCATION TO AN ALTERNATIVE SITE IS PREFERABLE.

PROPOSALS FOR THE DEVELOPMENT, REDEVELOPMENT OR CONVERSION OF SITES WITH EMPLOYMENT GENERATING POTENTIAL IN THE PLAN AREA FOR ALTERNATIVE USES WILL BE ASSESSED WITH REGARD TO THE FOLLOWING CRITERIA:

1. THE PROVISIONS OF POLICY DMG1, AND
2. THE COMPATIBILITY OF THE PROPOSAL WITH OTHER PLAN POLICIES OF THE LDF, AND
3. THE ENVIRONMENTAL BENEFITS TO BE GAINED BY THE COMMUNITY, AND
4. THE ECONOMIC AND SOCIAL IMPACT CAUSED BY LOSS OF EMPLOYMENT OPPORTUNITIES TO THE BOROUGH, AND

5. ANY ATTEMPTS THAT HAVE BEEN MADE TO SECURE AN ALTERNATIVE EMPLOYMENT GENERATING USE FOR THE SITE (MUST BE SUPPORTED BY EVIDENCE (SUCH AS PROPERTY AGENTS DETAILS INCLUDING PERIODS OF MARKETING AND RESPONSE) THAT THE PROPERTY/ BUSINESS HAS BEEN MARKETING FOR BUSINESS USE FOR A MINIMUM PERIOD OF SIX MONTHS OR INFORMATION THAT DEMONSTRATES TO THE COUNCIL'S SATISFACTION THAT THE CURRENT USE IS NOT VIABLE FOR EMPLOYMENT PURPOSES.)

The proposed development is a small scale expansion of a local business that provides a valuable service to the rural community. The business supports local employment.

SECTION 6 CONCLUSION

- 6.1** The proposed development will provide an essential building for the storage of fodder and bedding products to avoid spoilage and waste..

- 6.2** Whalley Corn Mills has operated for over 20 years and provides an important service to horse owners, pet owners and farmers. The business operates from a store with excellent access, parking and turning space. The proposed development will have minimal visual impact and will not impact neighbour amenity.

- 6.2** The proposal has been fully assessed in regard of all relevant planning policies and issues. The development is congruous with national and local planning policy. We hope the planning authority will support the application.

May 2026