

Planning statement

Erection of a two-storey dwelling and associated annexe following demolition of existing workshop buildings on Healings Farm, Waddington

Introduction

Rural Solutions Ltd. is instructed to submit a full planning application on behalf of Ashley Rostron (hereafter referred to as the 'applicant') to seek the erection of a two-storey dwelling on the site which encompasses some of the former light industrial workshop buildings at Healings Farm, Waddington.

This application relates to the location of the concrete existing workshop building and some of Nissan huts which form part of the associated site. Part of this site already benefits from residential use under a Class ZA application, which was initially refused by the local planning authority (LPA) under application ref. 3/2023/0687 but allowed on appeal¹ for a two-storey dwelling. Subsequent to this appeal decision, planning permission ref. 3/2024/0255 was granted for the demolition of four existing buildings and erection of one new single-storey dwelling on the site, with associated parking and landscaping.

The proposed scheme is to redesign the permitted dwelling and to incorporate an annexe to be used in association with the main dwelling on the site.

Site description

The application relates to a cluster of former agricultural and light industrial buildings situated on the northeastern outskirts of Waddington. The farmstead previously operated as a poultry rearing site (with a use later granted for the construction of light aircraft parts). It comprises a residential dwelling, detached garage, and numerous former agricultural and light industrial buildings, several Nissan huts used for light industrial purposes, and a mono-pitched building which has now been granted to be demolished and replaced with a dwelling via numerous planning approvals, as detailed in the above paragraphs.

Access to the proposal site is from West Bradford Road. Two public rights of way (PRoWs) flank the northern and western sides of the site.

A small cluster of residential properties and a primary school lie just to the north of the site, with the wider area comprising a mixture of woodland, agricultural land, and open countryside.

The Forest of Bowland National Landscape (AONB) lies directly to the north of the proposal site on the northern side of West Bradford Road. The site is therefore outside the Forest of Bowland AONB.

¹ Appeal decision reference: APP/T2350/W/23/3334523

History

Relevant planning history comprises the following:

3/2023/0687 - Prior notification (Class ZA) for the demolition of a building and the construction of a two-storey dwelling house at Healings Farm which was granted on appeal. Initially, the application was refused by the LPA on 24th October 2023 for the following reason:

The proposed dwelling would be two storeys and visible from various public vantage points. It would result in an incongruous, unsympathetic, and conspicuous addition to the application site and wider open countryside that would be harmful to the visual amenities of the area. The proposal would be in conflict with Paragraph 130 of the NPPF and Policy DMG1 of the Ribble Valley Core Strategy. As such, the proposed development has been considered against the provisions of Class ZA. 2 paragraphs (d) and (e) relating to matters of design and external appearance of the building and prior approval is refused.

On appeal, the appointed inspector² in granting approval for the proposed two-storey dwelling considered at paragraphs 21 and 22 of his decision that:

The appeal site already has built development back on this side of West Bradford Road [...] Their siting back from West Bradford Road is not harmful to the character and appearance of the area. As such, the two-storey scale and volume of the proposed dwelling, set back from the road, is acceptable.

The proposed dwelling, with its pitched roof design and use of traditional materials, including random coursed stone with a slate roof, would be in keeping with the rural character of the surrounding landscape [...] Overall, the design and external appearance of the proposed dwelling would not be incongruous, unsympathetic or harmful to the character of the area.

The appeal inspector further considered at paragraphs 26 and 27 of his decision that:

The existing building on the appeal site, and these other adjacent buildings, do not currently make a positive contribution to the experience of users of this PRow, or the character and appearance of the area in general. Thus, given the visual enhancement on the site, the appeal proposal would not negatively affect users of this PRow.

In addition, users of this PRow already experience large build development associated with the nearby farm and the appeal proposal includes new landscaping features within the appeal site which would partially screen the proposed dwelling from this PRow and provide a more attractive view towards the appeal site than that currently experienced.

Overall, the appeal assessment confirms that the proposed two-storey dwelling and associated curtilage conforms:

² Appeal decision reference: APP/T2350/W/23/3334523

(...) with paragraph 135 of the Framework where it seeks to ensure that development is sympathetic to location character, including the surrounding built environment and landscape setting. Furthermore, I (the Inspector) find that CS Policy DMG1 supports the appeal scheme, where it states that development should be sympathetic to existing and proposed land uses in terms of size, scale, massing, features, and building materials.



Figure 1: The two-storey dwelling southern and eastern flank elevations approved on appeal³

3/2023/0992 - Prior notification (Class ZA) for the demolition of existing workshop building and replacement with one new single-storey dwelling with basement. The scheme was approved subject to conditions. Figure 2 (overleaf) shows the approved site plan of the dwelling.

³ Appeal decision reference: APP/T2350/W/23/3334523

Approved Class ZA site plan 1:500 @ A3

Site plan key

1. Existing dwelling
2. Existing dwelling garage
3. Existing site access
4. Existing light industrial unit
5. Existing residential home
6. Existing yard access
7. Proposed dwelling
8. Proposed access road
9. Proposed parking
10. Proposed garden
11. Proposed passing place
12. Proposed field access
13. Primary school
14. Field
15. Neighbouring property

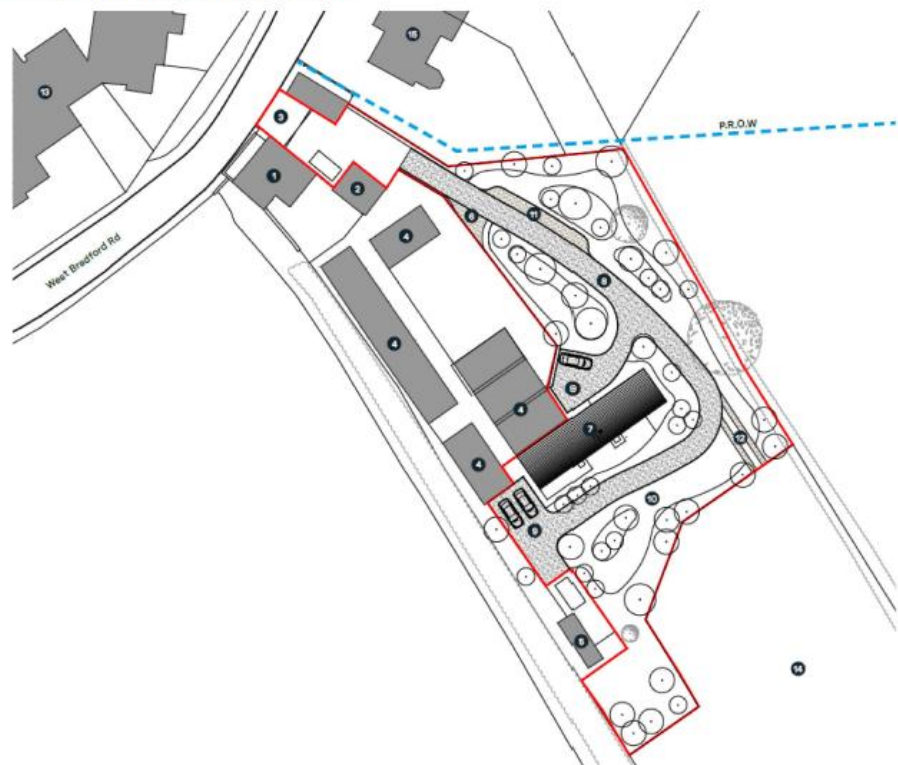


Figure 2: Approved site plan

3/2024/0255 - Planning permission granted for demolition of buildings and creation of new dwelling on 16th July 2024.

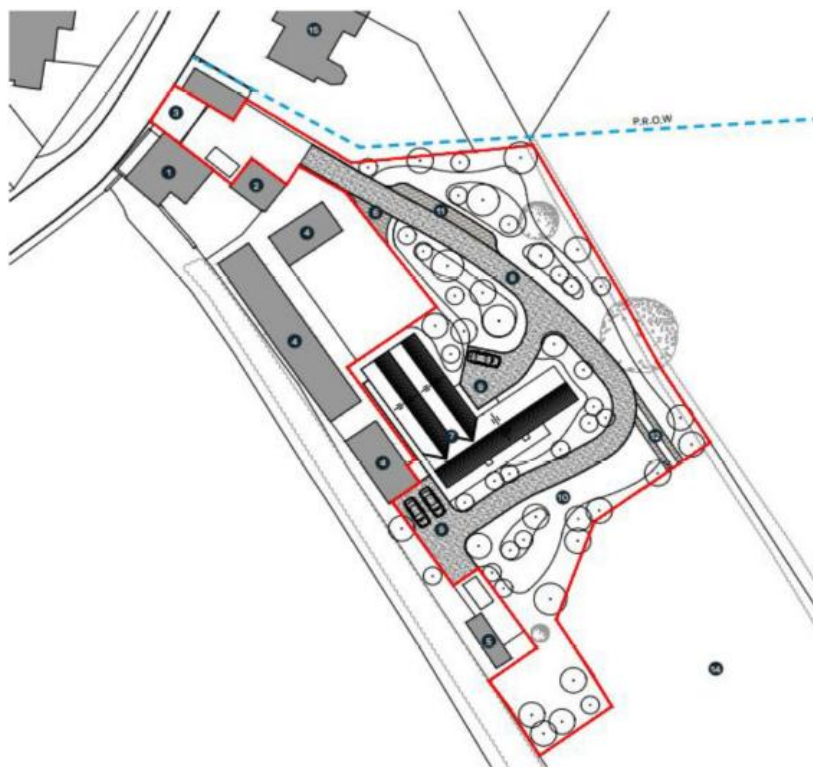


Figure 3: Approved site plan

3/2025/0155 - Planning permission was refused for demolition of existing building and erection of a new dwelling with associated annexe for the following reasons:

The proposal fails to satisfy the requirements of Key Statement DS1 and Policies DMG2, DMG3 and DMH3 of the Ribble Valley Core Strategy with respect to new residential development within the designated countryside and in an unsustainable location for housing. In this instance it is not considered that a viable fallback position exists to justify the principle of development proposed under this application.

The proposed dwelling, by virtue of its footprint, height, bulk and massing, would read as a disproportionate, over dominant and incongruous addition to the application site in the context of the site's existing built form, which in turn would be harmful to the visual amenities of the area. Moreover, it is not considered that a viable fallback position exists to justify the visual harm that would arise from the development proposed under this application. The proposed development would therefore fail to satisfy the requirements of Paragraph 135 (c) of the NPPF and Policies DMG1 and DMG2 of the Ribble Valley Core Strategy.

It is noted that the revised proposal that forms part of this application has considered the feedback received as part of this recent refusal and has made alterations to the proposed layout, height, and design of the dwelling to better relate to the previous planning approvals on site.

Proposed development

This revised planning submission proposes the development of a part-single-storey, part-two-storey dwelling and a one-bedroom annexe on the site, following the demolition of existing structures. The scheme adheres to principles established by prior Class ZA approval and separate planning consent (3/2024/0255), as referenced earlier in this report.

Similarly, the access and parking arrangements are the same as those which have been established on the earlier approvals for the development of the site. The associated small annexe building benefits from the same access route.

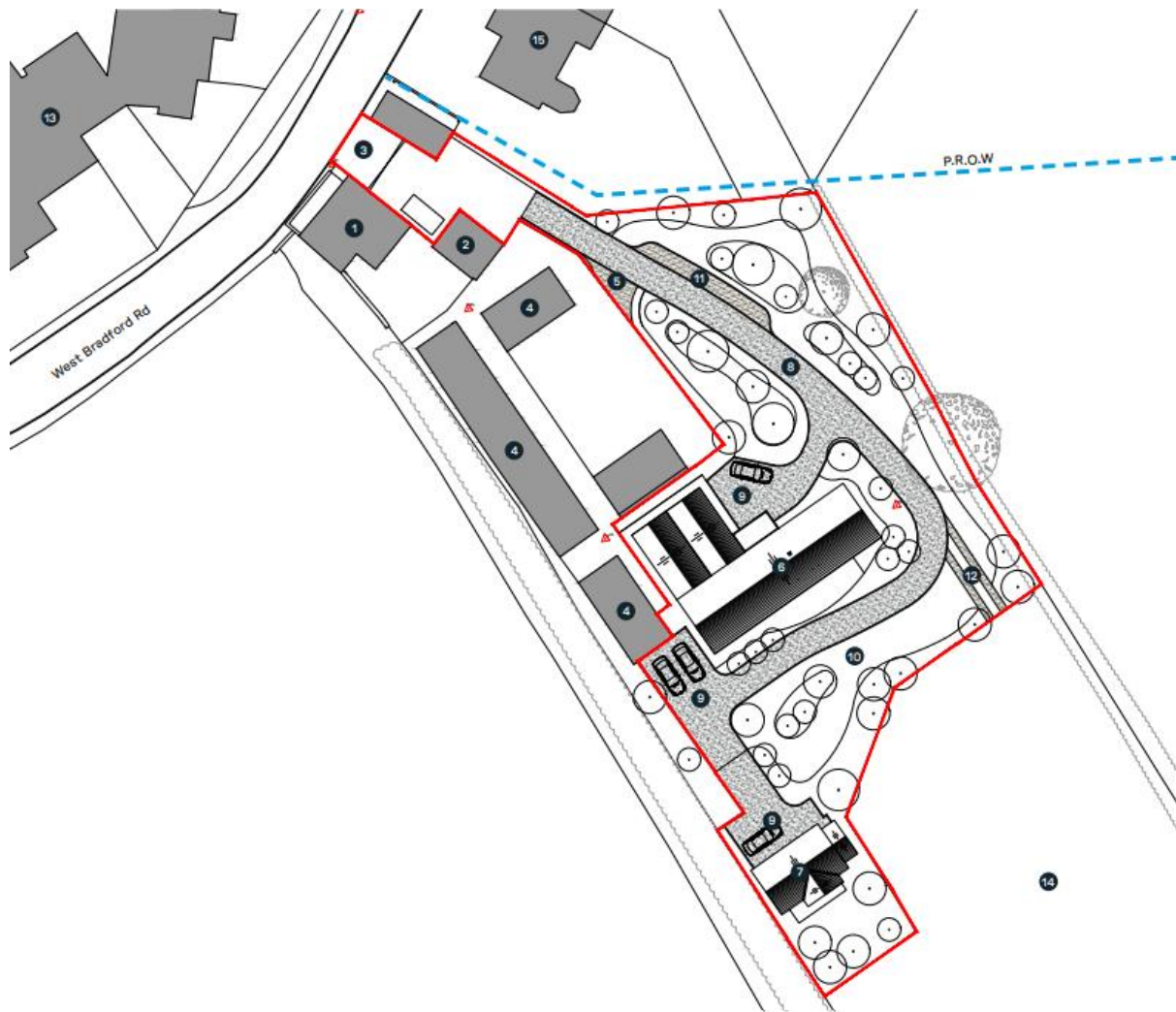


Figure 4: Proposed site plan



Figure 5: Proposed South and East Elevations



Figure 6: Proposed north and west elevations.

The revised proposal has been prepared specifically to address the concerns raised in the most recent planning application in relation to layout, height, and design. In summary, the amendments are as follows:

- Reduced overall massing, bringing the form of the dwelling more closely in line with the approved Class ZA scheme.
- Eaves and ridge heights lowered to align with the approved Class ZA parameters.
- Rear extension revised so that its ridge height and massing are reduced and clearly subservient to the main dwelling.
- The resulting scheme represents an approximately 18% increase in gross internal floor area (GIFA) compared to the approved Class ZA scheme, while maintaining a comparable overall scale and a more proportionate built form.
- The revised scheme sits within the footprint of existing built form across landholding and will result in visual enhancement to the immediate and wider landscape setting.

Overall, the revised scheme has been designed to overcome the recent reasons for refusal by reducing scale and height, improving the proportionality and visual presence of the development, and providing a more coherent and policy-compliant design solution while retaining the accepted access and parking arrangement.

Planning policy

Section 38(6) of the Planning and Compulsory Purchase Act (2004) states that planning decisions should be undertaken in accordance with the development plan unless material considerations indicate otherwise.

Below is a summary of the Development Plan documents and more detailed commentary on the relevant planning policies likely to be applicable for development proposals at the subject site.

Ribble Valley Borough Council adopted their Core Strategy in December 2014, and it forms part of the borough's Development Plan. The previous 1998 Local Plan has now been fully superseded by the Core Strategy and no saved policies remain. The council also adopted the Housing and Economic Development (Development Plan Document) in 2019, which forms part of the Development Plan.

The council's Local Development Scheme states that a new Local Plan will be adopted in 2023; however, no progress on the Local Plan is evident from the council's website. Therefore, the following documents comprise the area's Development Plan:

- Core Strategy 2008–2028: A Local Plan for Ribble Valley (2014).
- Housing and Economic Development (Development Plan Document) 2019.

Core Strategy 2008–2028: A Local Plan for Ribble Valley (2014)

Key policies/statements pertaining to the proposed development include:

- DS1: DEVELOPMENT STRATEGY.
- DS2: SUSTAINABLE DEVELOPMENT.
- EN2: LANDSCAPE.
- EN3: SUSTAINABLE DEVELOPMENT AND CLIMATE CHANGE.

- EN4: BIODIVERSITY AND GEODIVERSITY.
- DMI2: TRANSPORT CONSIDERATIONS.
- H1: HOUSING PROVISION.
- DMG1: GENERAL CONSIDERATIONS.
- DMG3: TRANSPORT AND MOBILITY.
- DMH4: THE CONVERSION OF BARNS AND OTHER BUILDINGS TO DWELLINGS.
- DMH5: RESIDENTIAL AND CURTILAGE EXTENSIONS.

There are no relevant policies from the Housing and Economic Development (Development Plan Document) 2019.

National planning policy

The National Planning Policy Framework (December 2024, as corrected) sets out national planning policy for England. National planning practice guidance provides further information on how policies should be interpreted.

National policy and guidance are material considerations in any planning decision.

The following key areas of national policy and guidance are of key relevance to this case:

- Section 2 - Achieving sustainable development.
- Section 4 - Decision-making.
- Section 11 - Making effective use of land.
- Section 12 - Achieving well-designed places.

The fallback position

In terms of this current application, it is clear that the existing buildings at the site have an impact upon the landscape setting, both through the poor quality (visually) and potential lighting across the site, even as light industrial buildings.

In approving application 3/2024/0225, the case officer acknowledged:

[...] The proposal site benefits from an extant Class ZA consent allowed through recent planning appeal ref: APP/T2350/W/23/3334523, which would allow for the construction of a two-storey dwelling and in this instance there is considered to be a realistic prospect that the development allowed at appeal could be fully implemented within the requisite time period (May 2027). As such, refusal of the currently proposed development on principle is not considered to be pertinent in light of the viable fallback position in place, which has effectively established the principle of residential development within the proposal site.

As acknowledged, there is the fallback position of the approved Class ZA redevelopment for a new two-storey house⁴ on the site, which, when implemented, provides for a new dwelling on the site.

⁴ Appeal decision reference: APP/T2350/W/23/3334523

Key planning issues

Principle of development

The principle of residential development on this application site has already been accepted by the recent Class ZA applications 3/2023/0687 (two-storey house) and 3/2023/0992 (single-storey house). This application respects the granted approval for a two-storey house and the approved location of development within the site.

Following the Class ZA decisions and the grant of a subsequent planning permission, this updated scheme continues to take on board the above-mentioned fallback position, which is a significant material consideration in the determination of the application.

The proposed amendments to the recent Class ZA approval relate primarily to the demolition of the adjacent light industrial buildings, which provides space for a redesign/extension to the approved dwelling. Whilst the light industrial building is not being converted, Policy DMH4 provides guidance on the circumstances that would be acceptable in order to convert a building into a dwelling. These are as follows:

1. The building is not isolated in the landscape, i.e. it is within a defined settlement or forms part of an already existing group of buildings;
2. There need be no unnecessary expenditure by public authorities and utilities on the provision of infrastructure;
3. There would be no materially damaging effects on the landscape qualities of the area or harm to nature conservational interests;
4. There would be no detrimental effect on the rural economy;
5. The proposals are consistent with the conservation of the natural beauty of the area; and
6. That any existing nature conservation aspects of the existing structure are properly surveyed and, where judged to be significant, preserved, or if this is not possible, then any loss adequately mitigated.

The application site is located within a group of pre-existing buildings and satisfactory access already exists at the site. The design of the new house takes into account the approved design of the two-storey dwelling under Class ZA⁵, and the concerns raised as part of the recent refusal on site (ref: 3/2025/0155). The revised scheme does not create any undue impact on the surrounding landscape, as already established by the inspector, who opined that “the two-storey scale and volume of the proposed dwelling, set back from the road, is acceptable.” Additionally:

The proposed dwelling, with its pitched roof design and use of traditional materials, including random course stone with a slate roof, would be in keeping with the rural character of the surrounding landscape. (...) Overall, the design of the external appearance of the proposed dwelling would not be incongruous, unsympathetic, or harmful to the character of the area.

⁵ Appeal decision reference: APP/T2350/W/23/3334523

The proposed annexe building associated with a new house will provide a single bedroom for an elderly relative to live in close proximity to her family. The annexe is located within the existing residential curtilage and is designed to be small-scale (under 4.9 metres in height). It is considered that this ancillary building accords with Policy DMH5 of the Development Plan.

Overall, the annexe is of a suitable scale and visual appearance, has a safe highway access and parking, and will not affect the amenities of the surrounding locality. As such, it accords with the relevant criteria of Policy DMG1 and the Development Plan. A condition can be attached to any planning permission to ensure that the annexe remains ancillary to the main house at the site.

In summary, the whole scheme is designed to take account of the existing character of the area and ensures that the surrounding landscape will not be negatively impacted. The application relates the removal of three workshop units, which would not have a detrimental impact on the rural economy. The demolition of these buildings and construction of a dwelling and associated facilities as proposed within the application will improve the aesthetics of the area and will not have an impact local nature conservation.

As referred to above, Policy DMG1 sets out the council's guidelines regarding design, access, amenity, environment, and infrastructure. These are standard policies requiring a high standard of design reflecting the existing character of the area in terms of scale, style, and materials. It also states the requirement to have suitable access, highway safety considerations, and sufficient parking provision. The policy stresses the importance of not negatively impacting neighbouring communities and protecting the local environment.

The revised proposal has been carefully designed to ensure that this policy has been met; therefore, the proposed development will be acceptable in principle in accordance with Policies DMH4, DMH5, and DMG1 of the Ribble Valley Core Strategy 2014.

Design, layouts and highways.

The proposed layout, regarding the access, parking arrangements, and landscaping, has not been altered since the approved house (and various changes to the proposed house) under application references 3/2023/0687, 3/2023/0992 and 3/2024/0255. Therefore, post-application, the layout has been deemed acceptable in this regard and accords with Policies EN2, DMG1 and DMG3 of the Ribble Valley Core Strategy 2014.

The proposed development mainly involves extending the approved two-storey house. It would include demolishing three single-storey industrial buildings, which lack heritage or architectural significance. The extension is planned to follow the footprint of the existing industrial structures and will be single storey in height. The revised proposal addresses previous concerns about the scale, massing, and height of developments on the site, ensuring it aligns more closely with both the approved and current built form. Details regarding the small-scale annexe have been discussed separately above.

The form of the proposed buildings as a whole will match the existing buildings, forming an L-shaped structure. This will ensure the proposed dwelling has no greater visual impact on the wider landscape compared to the existing buildings.

The dwelling will be constructed from high-quality materials, which respond to the local vernacular of the area. Walls will be constructed from local random coursed stone, with a

slate roof and PPC aluminium doors and windows. Furthermore, the building will be dual pitched, which responds to the typical character of the dwellings in the area.

Therefore, the revised proposed development would be in keeping with the character of the area, will be designed from high-quality materials, and would not have a greater impact on the wider landscape following a reassessment of design principles. This would comply with Policies EN2, DM12, DMG1, and DMG3 of the Ribble Valley Core Strategy 2014.

Amenity

The proposed dwelling is planned to be situated approximately 45 metres from the nearest residential properties, Healings Farm and The Hawthorns, with the annexe positioned further southeast of the main dwelling. This arrangement establishes a satisfactory separation between the proposed structures and existing residences, effectively minimising concerns related to overlooking, privacy, and natural light intrusion. It is therefore considered that the development would not adversely affect the amenity of neighbouring residents or future occupants and that the proposal would align with the requirements of Policy DMG1 of the Ribble Valley Core Strategy 2014.

Conclusion

The applicant is essentially seeking an extension to an approved dwelling form, where the principle of development has already been accepted. The revised scheme seeks to respond positively to concerns raised to a recent application, reducing the mass of the building to bring it more in line with the approved Class ZA scheme. The eaves and ridge height of the main part of the dwelling have been reduced to match the approved Class ZA scheme. The ridge height and mass of the rear extension have been reduced to provide a single-storey element subservient to the main house. The overall footprint of development has been reduced to that previously proposed.

There are no adverse impacts arising from the proposal that would significantly and demonstrably outweigh the overarching presumption in favour of sustainable development contained within the NPPF, and therefore planning permission should be approved.