

Mr N Holden

Barn at Cowley Brook Farm, Higher Road, Longridge, PR3 2YX

Structural Condition Survey for Conversion to form Extension to Dwelling



PSC-1073-CA

April 2026

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Structural Condition Survey
Barn at Cowley Brook Farm

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1.0 Terms of reference

Paul Snape was appointed by N Holden to carry out a visual structural inspection and produce a structural condition survey report for the existing barn adjoining the farmhouse at Cowley Brook Farm, Longridge. A layout of the property is included in Appendix A

2.0 Purpose of the survey

It is proposed to convert the barn to form an extension to the farmhouse with an annexe. The proposals have been prepared by ALH Design Services and the details are set out on the planning drawings in Appendix A. The visual structural survey is required to confirm the current condition of the building and to assess its suitability for conversion. There are photographic records of the building in Appendix B and these are referenced throughout the report.

The drainage and electrical systems of the building have not been inspected. These will be renewed as part of the proposals and detailed for Building Regulation purposes.

We have not inspected parts of the structure that are covered, unexposed or inaccessible. Hence, we are unable to report if such parts of the property are free from defect.

Our inspection was undertaken on 1st April 2026 at which time the weather was fine and overcast.

The survey was undertaken by a Chartered Civil Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of Building

The building is a traditional stone barn with three distinct sections. The main body of the barn is a two-storey building with a full height dividing wall splitting the space into two parts. At the gable end of the barn is a single storey building comprising of two parking or storage spaces. There is a single storey lean to section to the rear of the barn. The roofs to all these sections are slate on timber rafters, purlins and trusses. The buildings have solid floors at ground level and timber floors to the loft and mezzanine in the main barn.

4.0 External Survey

South-West Elevation (Photos 1 to 19)

This elevation is in two sections covering the main barn and the twin garage on the gable. The walls are built in random sandstone and are 450mm thick. The walls appear to have been cleaned and had the pointing picked out. The section to the south-east above the main door and to the east of this appears to be of poorer quality stonework and the door jambs, sills and lintels sit proud of it (photos 11 to 16). This area may have been built later and possibly rendered. The stonework adjacent to the house is more regularly coursed and of much better quality (photos 16 and 17) and may have been built earlier as it sits at the same level as the

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house. There are no signs of previous or ongoing movement but areas of the elevation are slightly out of plumb. The stone lintel over the main door is in good condition (photo 18). The main barn section has 3 window openings plus the main barn door and two further doorways (photo 1). The timber to the doorways is in a reasonable condition but the windows are in a poor condition. This section of the elevation has the benefit of guttering and downspouts which are in a reasonable condition.

The twin garage is adjacent to the south-east gable (photos 5 to 10) and is likely a later addition. The stonework to this building is in a good condition and the garages have the benefit of guttering and downspouts which are in a reasonable condition. Internal inspection shows a concrete floor with some cracking evident but no sign of major movement or failure. The roof is slate sitting on under boarding supported by timber rafters and purlins (photo 10). There are signs of water ingress but the timber appears to be free from major signs of rot or infestation. The roof slates and ridge tiles are all in place and in a reasonable condition. Photo 19 shows the rear north-east elevation to the garage area. This is built in random stone and acts as a retaining wall to the higher ground behind. The elevation is plumb, well pointed and has no sign of movement. There is a single opening at the centre. The roof slates are in a reasonable condition and the elevation has functioning gutters and downspouts.

South-East Gable (photos 20 and 21)

This elevation, 450mm thick, is plumb and free from any sign of movement. The wall is reasonably pointed with lime mortar and has not been picked out or cleaned as was the case to the front elevation. The gable extends to accommodate the rear lean-to section and there are two window openings, one to the loft of the main barn and one to the lean-to section (photo 21). The timber to these windows is in poor condition.

North-East Elevation to Single Storey Lean-to (Photos 22 to 24)

This elevation is a 300mm thick random stone and has been built as three separate stalls or stables, each with its own stable door. The wall is plumb, reasonably well pointed and free from signs of movement. There is some low-level damage to the stonework, probably from water flows/ingress due to poor drainage. The timber doors are weathered but in reasonable condition. The elevation has functioning gutters and downspouts.

North-West Elevation of Single Storey Lean-to (Photo 25)

This elevation is a 300mm thick random stone wall with a single window opening. The wall is plumb, reasonably well pointed/rendered and free from signs of movement. The timber window is in a poor condition.

North-East Elevation adjacent to Farmhouse (photo 26)

This wall is a 450mm thick random stone wall with a single window at a low level. This area of wall has been recently re-pointed to a good standard and is free from any sign of movement. The timber window is in poor condition. The photo indicates that the lower levels of the main barn rear wall act as retaining walls to the higher ground behind.

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Roof (Photos – 1 to 7, 19, 20, 22 & 23)

Viewed externally, the main barn roof appears in reasonable condition with no sign of damage or slate loss, but some signs of deflection (photos 1 & 23).

5.0 Internal Survey

Rear Lean-to (Photos 27 to 29)

This section of the building consists of three stalls with dividing walls. All the walls are limewashed/whitewashed and are in good condition with no sign of significant movement. The timbers to the roof appear free from signs of rot or infestation. The solid concrete floor was in a reasonable condition where visible.

Main Barn (photos 3 to 43)

This larger area of the barn is full height in the central area at the main doors. To the north-west of this the ground floor is at a lower level and a mezzanine floor has been built on brick piers (photo 39). To the south-east of the main door there is full height masonry wall (photos 36 and 38) which is plumb and in reasonable condition with no sign of movement. The external walls are all reasonably plumb, well pointed and free from signs of movement. The rear wall where it retains higher ground is in good condition and there were no obvious signs of damp or water ingress. The main barn loft is south-east of the dividing wall (photos 32 to 35) and inspection of the walls at this higher level indicated they are in a reasonable condition.

The timber to the roof truss, purlins and rafters all appeared in a reasonable condition with little or no sign of rot or infestation (photo 34). The solid flagged or paved floors, where visible appeared to be in a reasonable condition.

6.0 Suitability for Conversion and Method of Construction

It can be seen from the survey detailed above that this barn is generally in a reasonable to good condition structurally, with little or no sign of previous movement and no sign of ongoing movement. The barn is considered suitable for conversion to form the extension and annexe to the dwelling. When converting barns, it is essential that the construction techniques and sequence are carefully considered.

Conversion will require the construction of an insulated inner leaf. This may comprise of a cavity with insulation plus a block inner leaf or a backing block to the stone with a cavity and a further block inner leaf. With this technique, care must be taken as the existing walls may be founded

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at a shallow depth. Trial holes should be dug to ascertain the actual depth. Ground floor levels should be set as high as possible and we would recommend the use of a concrete floor slab with thickened edges along external walls and thickenings under new internal walls. The thickening can be taken down to a similar depth as the existing walls. We would recommend a minimum depth of 400mm for the thickenings. Levels lower than the existing foundations should be avoided and if this is necessary an Engineer should be consulted as underpinning may be required. The new inner leaf (and backing block if used) should be tied to the existing wall with suitable cavity and/or specialist ties.

As an alternative, the new internal leaf could be formed with SIP panels if this is felt appropriate. Any new internal walls could be formed in masonry, SIP panels or timber stud walls as appropriate.

It is recommended that the new internal skin is in place and the internal walls, ground and first floor are put in place prior to any works to the roof. This will add stability to the exiting walls.

As noted above, the rear wall to the main barn acts as a retaining wall and this will need to be assessed for any required tanking detail during detailed design. In addition, the main barn has floors at differing levels and the new floor slab will need to be designed and detailed to take this into account.

The existing trusses and purlins appear to be free from signs of rot or infestation but others have definitely suffered damage. Any timber retained should be assessed by a timber specialist, with regard to rot and infestation. All retained timber should be treated against rot/infestation and an indication of residual section given for structural purposes. All retained timber to be used structurally should be checked for structural adequacy.

Given the good condition of the barn walls any new openings introduced in the barns should not affect the overall stability of the buildings but they should be assessed by a structural engineer.

The dwelling will require connection to a suitable foul and surface water system. Foul sewers are not in place at this location and a sewage treatment plant will be required meeting all current regulations in terms of treatment and outfall requirements. The barn currently has functioning surface water drainage and this should be checked to ensure outfalls are suitable and functioning.

7.0 Conclusions

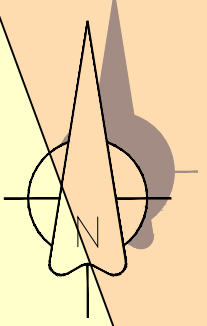
The barn is considered suitable for conversion to a dwelling. The construction should follow the guidance set out above and a structural engineer should be consulted with regard to the final layout for Building Regulation compliance.

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Appendix A

Drawings

NOTES
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT.
ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO
PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON
SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.



Rev.	Date	Description
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Barley Cottage, Brewery Street, Longridge, Lancs
PR3 3NB, Tel & Fax : (01772) 785719

Client

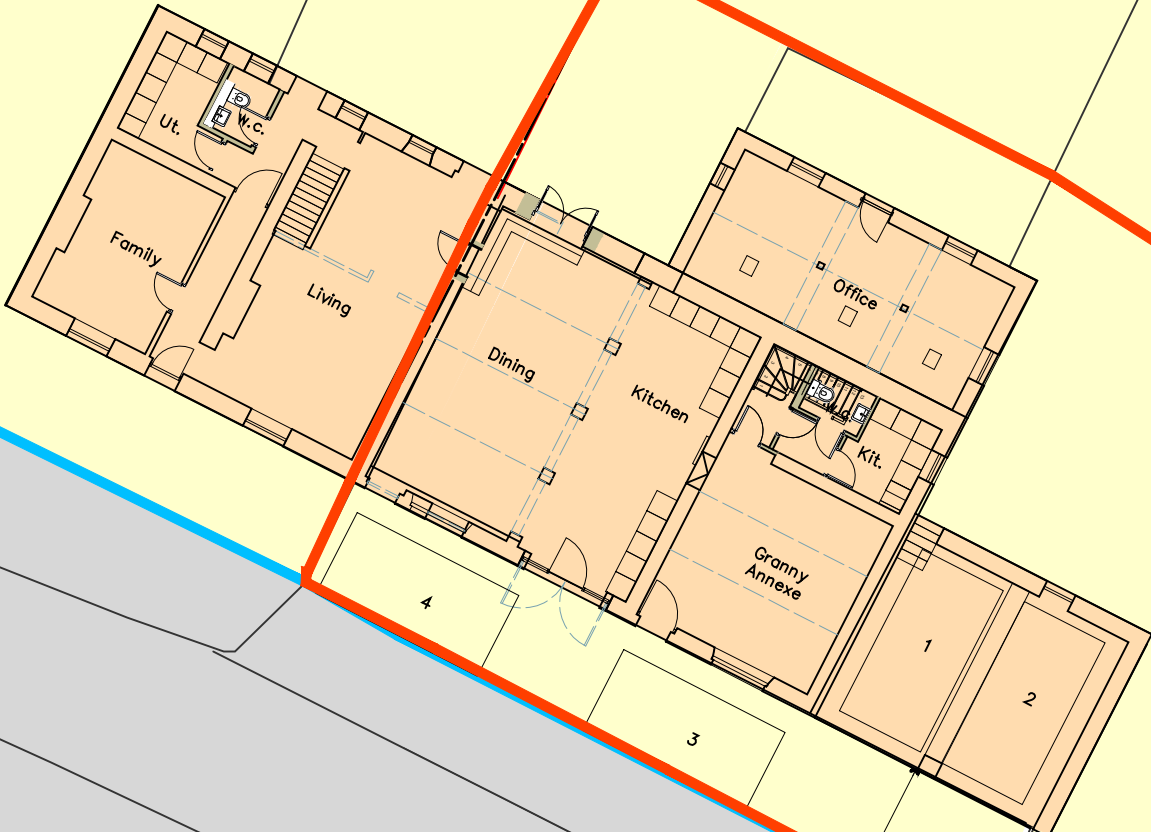
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CONVERSION OF REDUNDANT
BARN TO FORM EXTENSION TO
EXISTING DWELLING

Drawing Title

PROPOSED SITE PLAN

Job/Scheme Number		Drawing Number	
0 7 7 7 / 9 3		Drawing No 0 8	
Scale	Date	Drawn	Checked
1 / 200	Feb 26	a.t.l-h.	



Higher Road

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TAKE OUT AND STRIP BACK ROOF AND ALLOW FOR
INSERTING SOLAR (SIT-IN) TYPE PHOTOVOLTICS

NEW WINDOWS AT FIRST FLOOR LEVEL TO SERVE
BEDROOMS (PREVIOUSLY APPROVED)

TAKE OUT WINDOW AND RELOCATE AT REVISED
LOCATION TO SUIT ADJACENT WINDOW ON ANNEX

TAKE OUT DOOR AND STONE SURROUND AND
SALVAGE AND INFILL WITH MATCHING STONE

INSERT NEW DOOR AND SCREEN INFILL TO SUIT
EXTG BARN DOOR OPENING

SOUTH WEST

A 26.02.26 Alts to suit pre-app comments of
26.01.26

Rev.	Date	Description
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Job/Scheme Title

CONVERSION OF REDUNDANT
BARN TO FORM EXTENSION TO
EXISTING DWELLING

Drawing Title

PROPOSED ELEVATIONS
(SHEET 1 OF 2)

Job/Scheme Number		Drawing Number	
0 7 7 7 / 9 3		Drawing No 1 5 A	
Scale	Date	Drawn	Checked
1 / 100	Oct 25	a.t.l-h.	

SOUTH EAST

NEW WINDOWS AT FIRST FLOOR LEVEL TO SERVE
BEDROOM



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EXTG ROOFLIGHTS TO REMAIN INSITU

TAKE OUT EXTG ROOFLIGHT AND RELOCATE, AND ADD ADDITIONAL ROOFLIGHTS TO SERVE BEDROOM, DRESSING ROOM AND EN-SUITES ETC ALL TO BE CONSERVATION TYPE

NEW WINDOWS AT FIRST FLOOR LEVEL TO SERVE BATHROOM ETC (PREVIOUSLY APPROVED)

TAKE OUT TIMBER DOORS AND INSERT NEW STABLE DOORS TO SUIT OPENINGS (3No OF)

TAKE OUT WINDOW AND RELOCATE AT REVISED LOCATION TO SUIT IN KITCHEN

FORM NEW DOOR OPENING IN LOCATION OF WINDOW AND ALLOW FOR STONE HEAD AND CILL

N O R T H E A S T

A 26.02.26 Alts to suit pre-app comments of 26.01.26

Rev.	Date	Description
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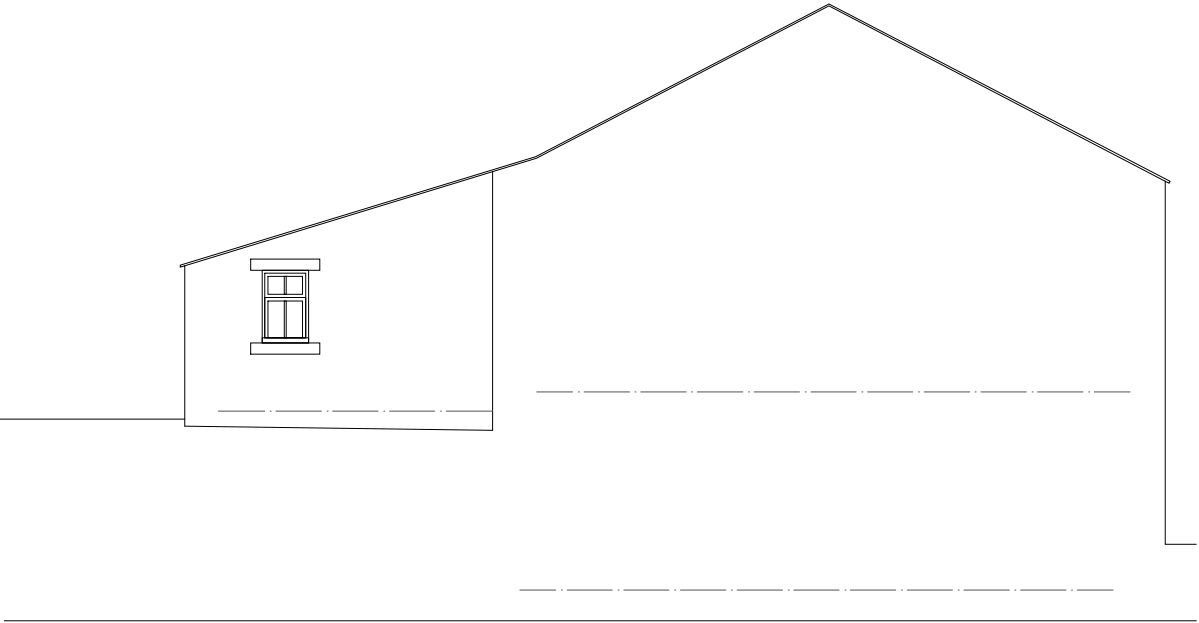
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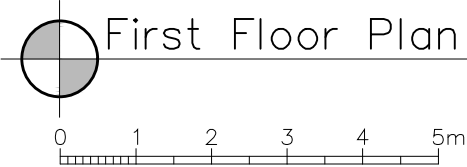
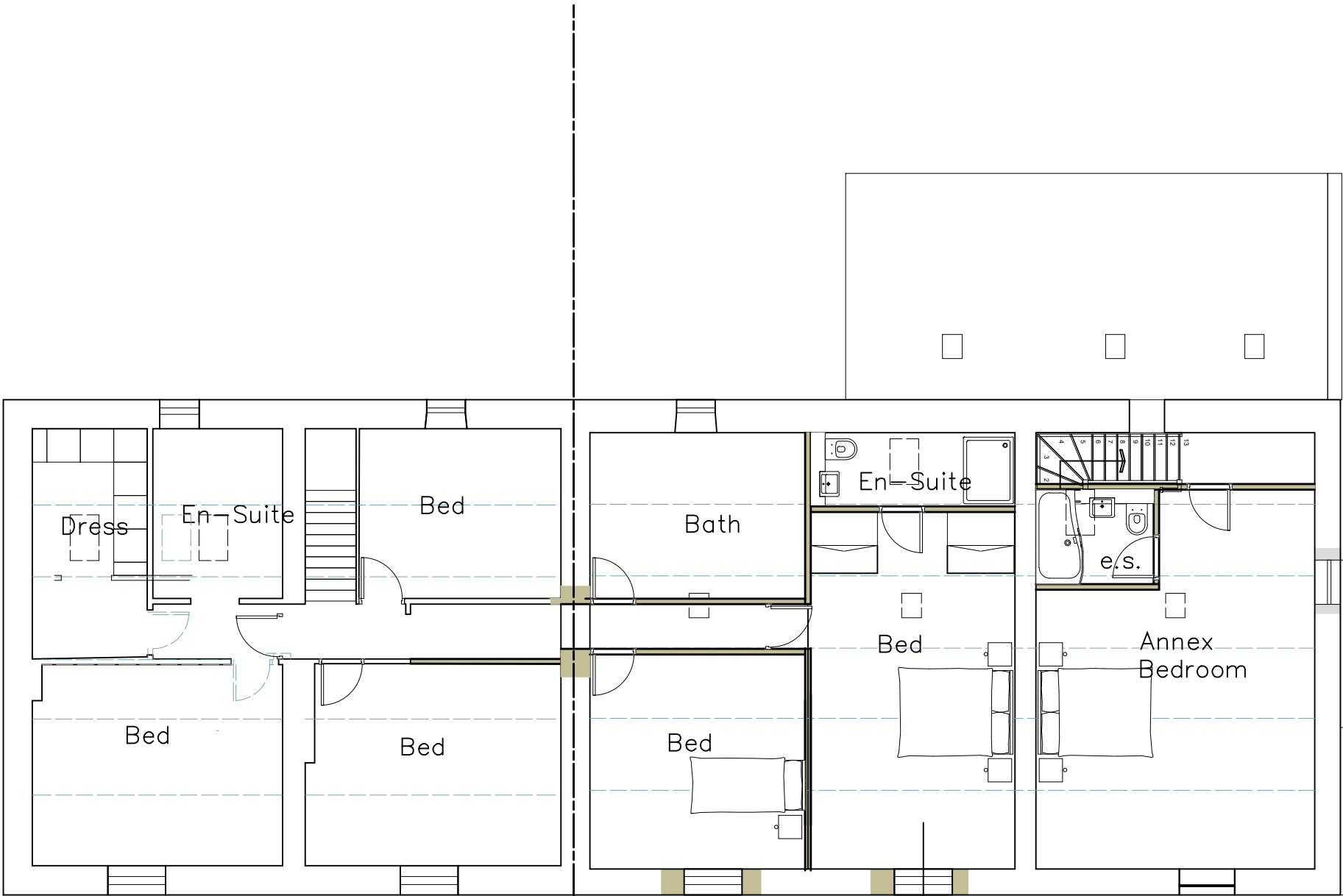
Drawing Title
PROPOSED ELEVATIONS
(SHEET 2 OF 2)

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First Floor Plan

A 26.02.26 Alts to suit pre-app comments of 26.01.26

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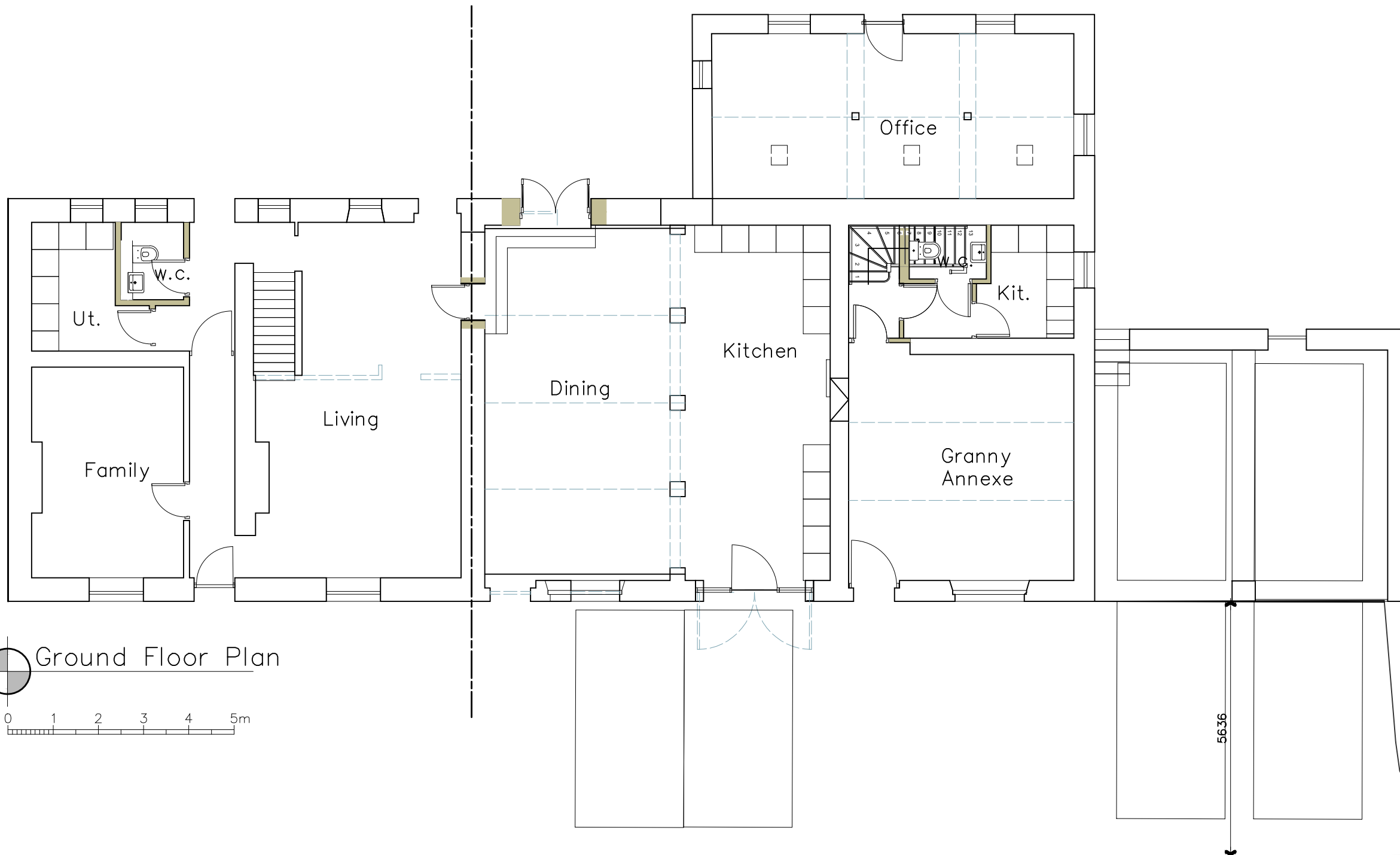
CONVERSION OF REDUNDANT
BARN TO FORM EXTENSION TO
EXISTING DWELLING

Drawing Title

PROPOSED FIRST FLOOR PLAN

Job/Scheme Number		Drawing Number	
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Scale	Date	Drawn	Checked
1 / 100	Oct 25	a.t.l-h.	

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CONVERSION OF REDUNDANT
BARN TO FORM EXTENSION TO
EXISTING DWELLING

Drawing Title

PROPOSED GROUND FLOOR
PLAN

Job/Scheme Number	Drawing Number
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0 7 7 7 / 9 3 Drawing No 1 0 A

Scale	Date	Drawn	Checked
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1 / 100 | Oct 25 | a.t.l-h. |

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Appendix B Photographs



Photo 1 - South West Elevation



Photo 2 – South West Elevation and Roof



Photo 3- South West Elevation and Roof



Photo 4 - South West Elevation and Roof



Photo 5 – South West Elevation – Open Garage/Storage at South East End



Photo 6 – South East Gable and Roof to Open Garage/Storage at South East End



Photo 7 – Roof to Open Garage/Storage at South East End



Photo 8 – Open Garage/Storage at South East End



Photo 9 – Open Garage/Storage at South East End



Photo 10 – internal of Roof to Open Garage/Storage at South East End



Photo 11 – Stonework to South West Elevation



Photo 12 - Stonework to South West Elevation



Photo 13 - Stonework to South West Elevation



Photo 14 - Stonework to South West Elevation



Photo 15 - Stonework to South West Elevation



Photo 16 - Stonework to South West Elevation



Photo 17 - Stonework to South West Elevation



Photo 18 – Stone Lintel to main door to South West Elevation



Photo 19 – North East Elevation to garage/storage



Photo 20 – South East Gable



Photo 21 – South East Gable



Photo 22 – North East Elevation to single storey rear section



Photo 23 – Roof to North East Elevation



Photo 24 – North East Elevation



Photo 25 – North West Elevation or rear single storey section



Photo 26 – North East Elevation adjacent to farmhouse



Photo 27 – Internal rear single storey



Photo 28 - Internal rear single storey



Photo 29 - Internal rear single storey



Photo 30 – Internal main barn



Photo 31 - Internal main barn



Photo 32 - Internal main barn loft



Photo 33 - Internal main barn loft



Photo 34 - Internal main barn roof



Photo 35 – Internal main barn roof



Photo 36 - Internal main barn – Dividing wall main barn

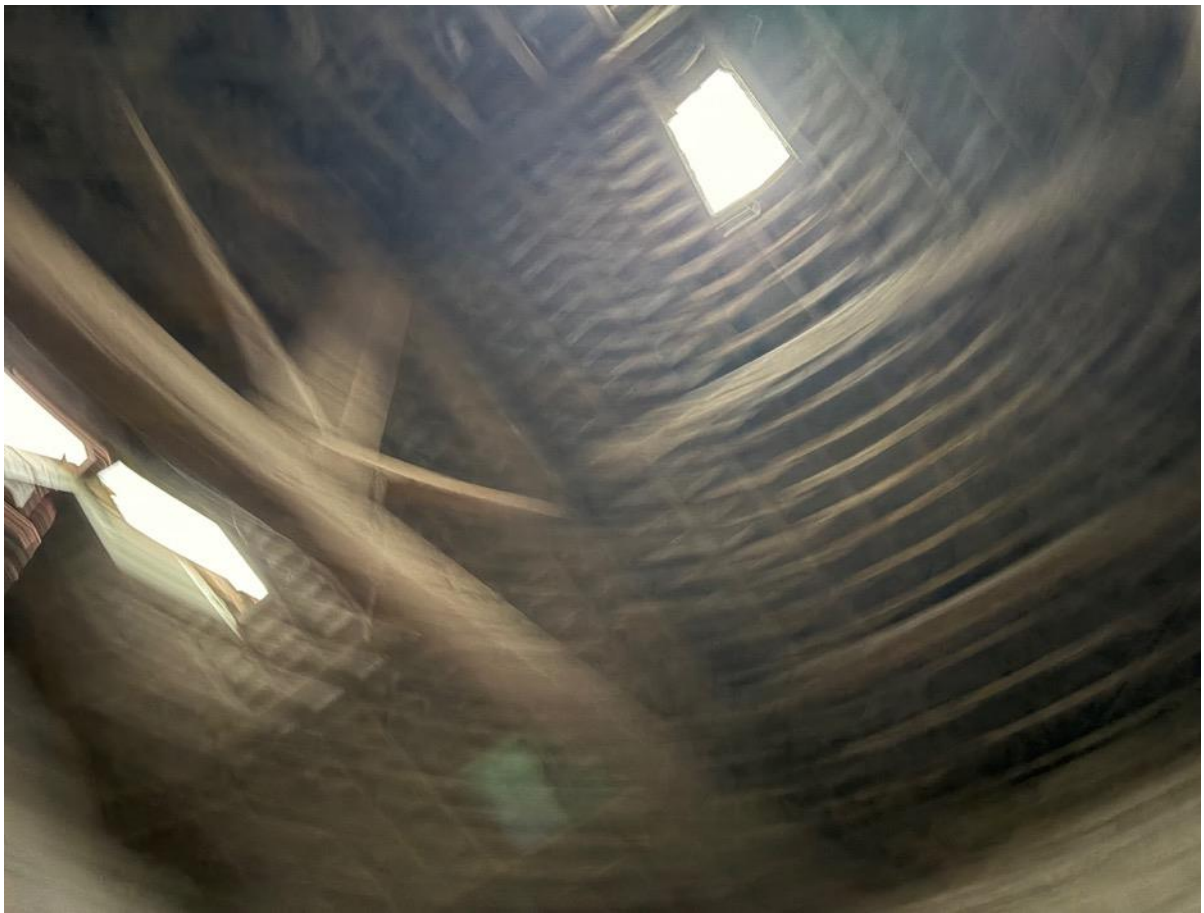


Photo 37 – Truss main barn



Photo 38 – Main barn dividing wall



Photo 39 – Mezzanine with brick pillars in main barn



Photo 40 – Main barn internal



Photo 41 – Main door internal

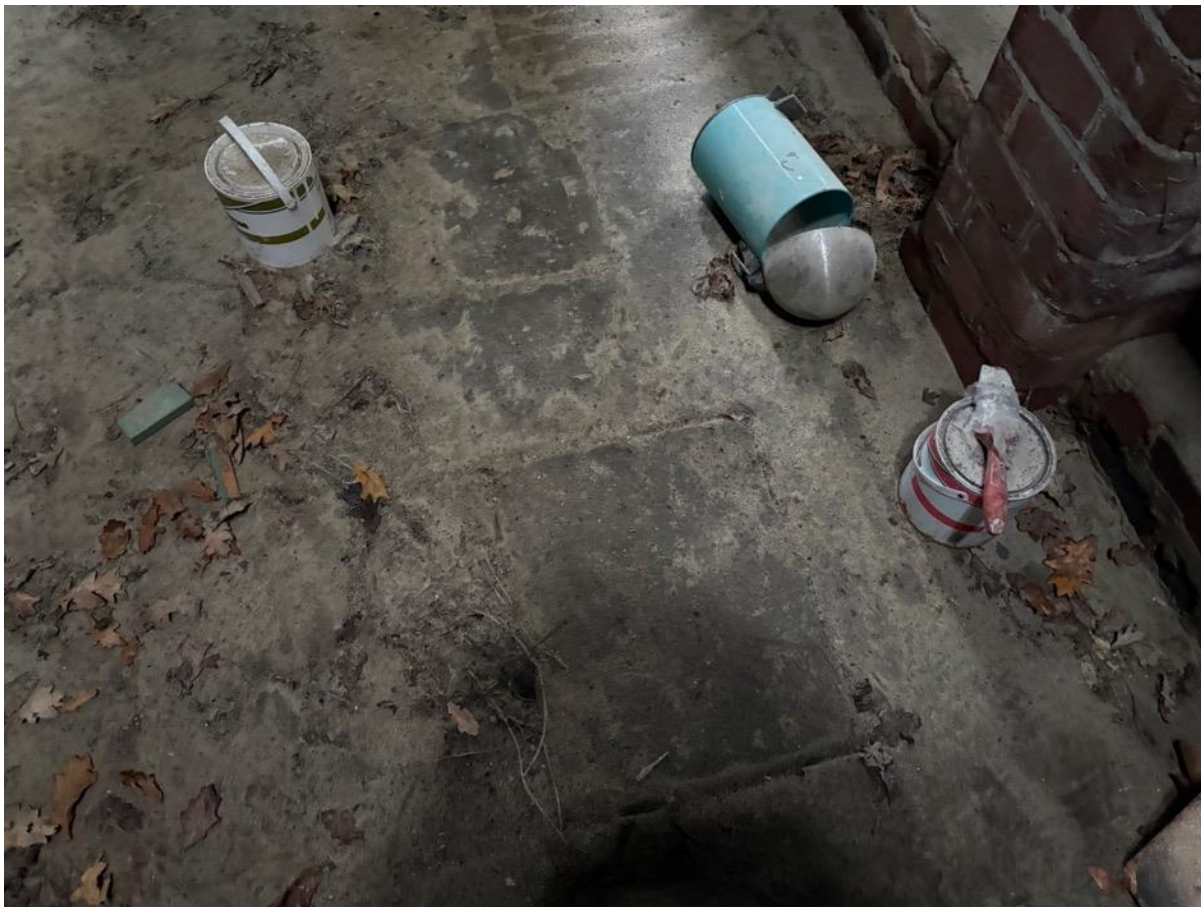


Photo 42 – Flagged Floor



Photo 43 – Paved floor

