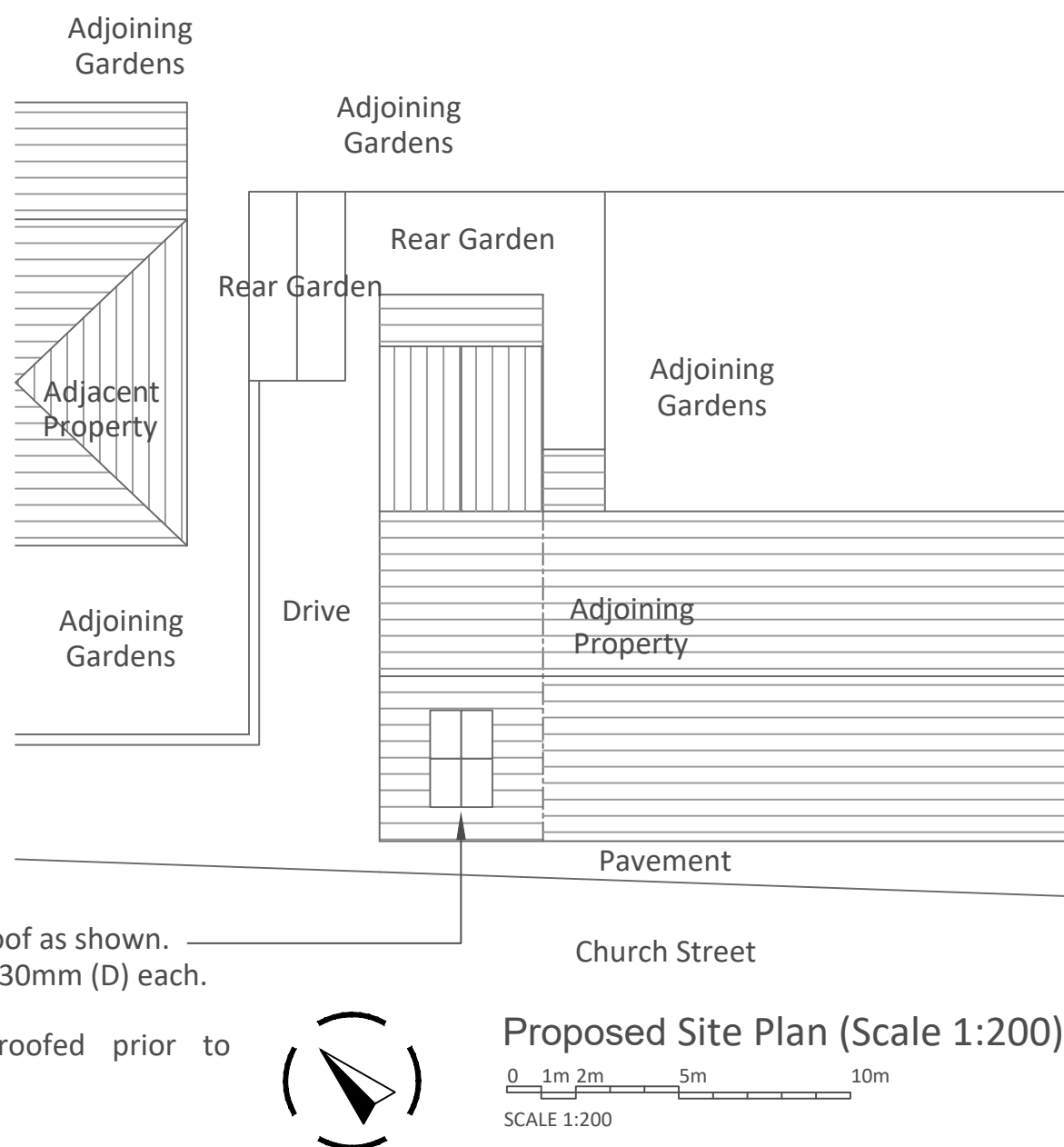
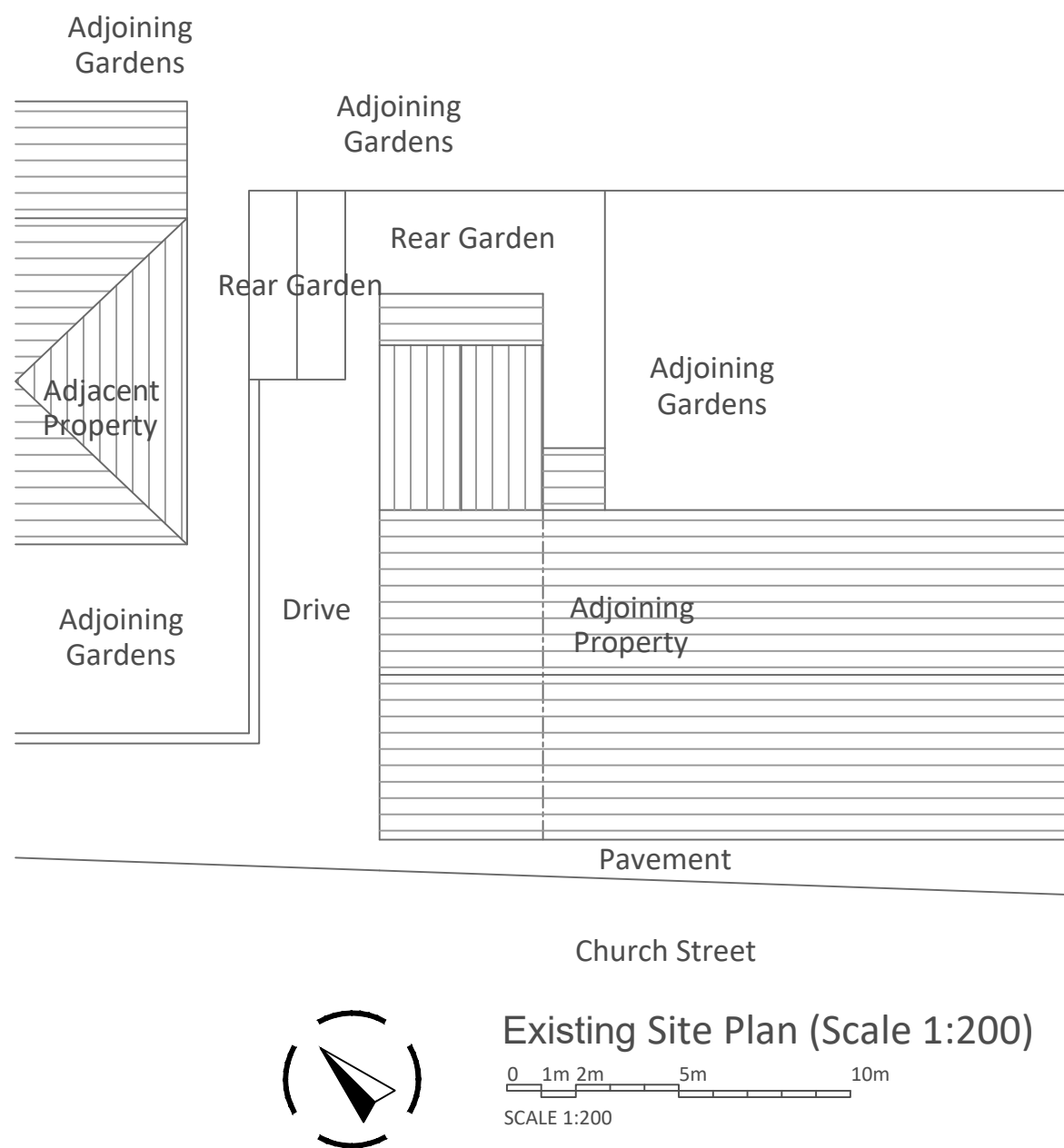




4no. solar panels afixed to the roof as shown.
Panels are 1762 (L) x 1134 (W) x 30mm (D) each.

Front roof slope to be re-roofed prior to
installation.

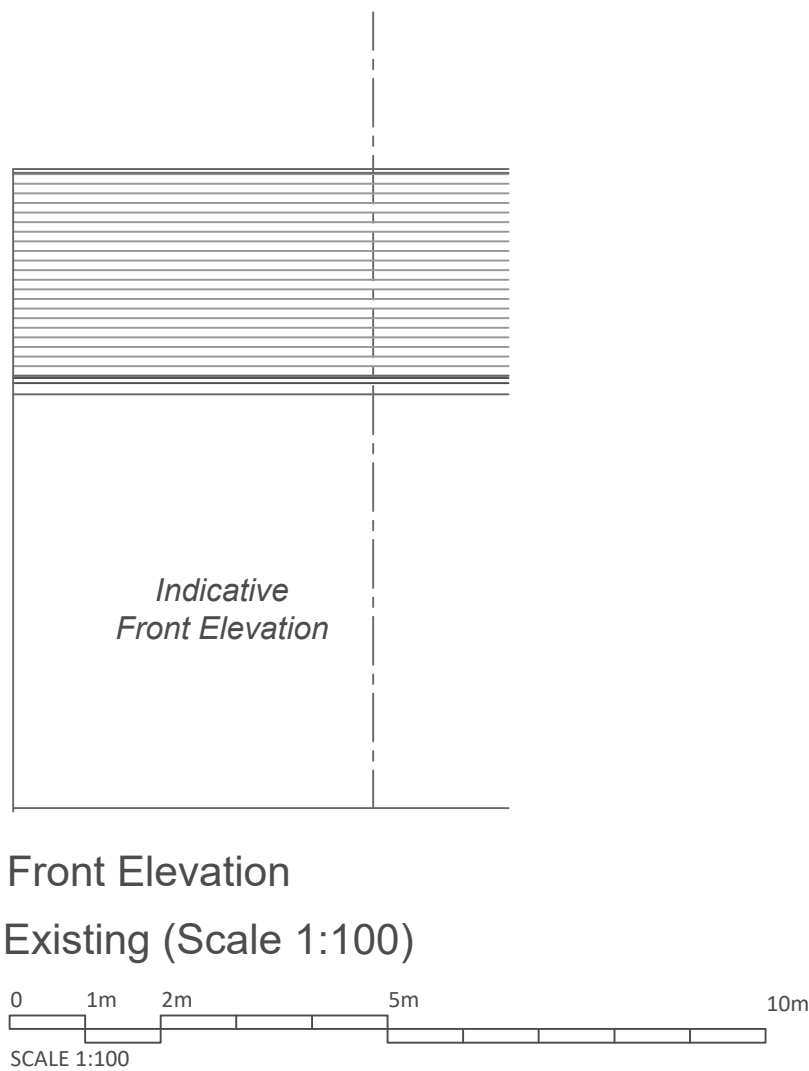
PROPOSED RE-ROOFING TO FRONT SLOPE

The existing roof covering to the front elevation is in poor condition and requires replacement. The existing slates, battens and any existing underlay/breathable membrane shall be carefully removed and disposed of off site.

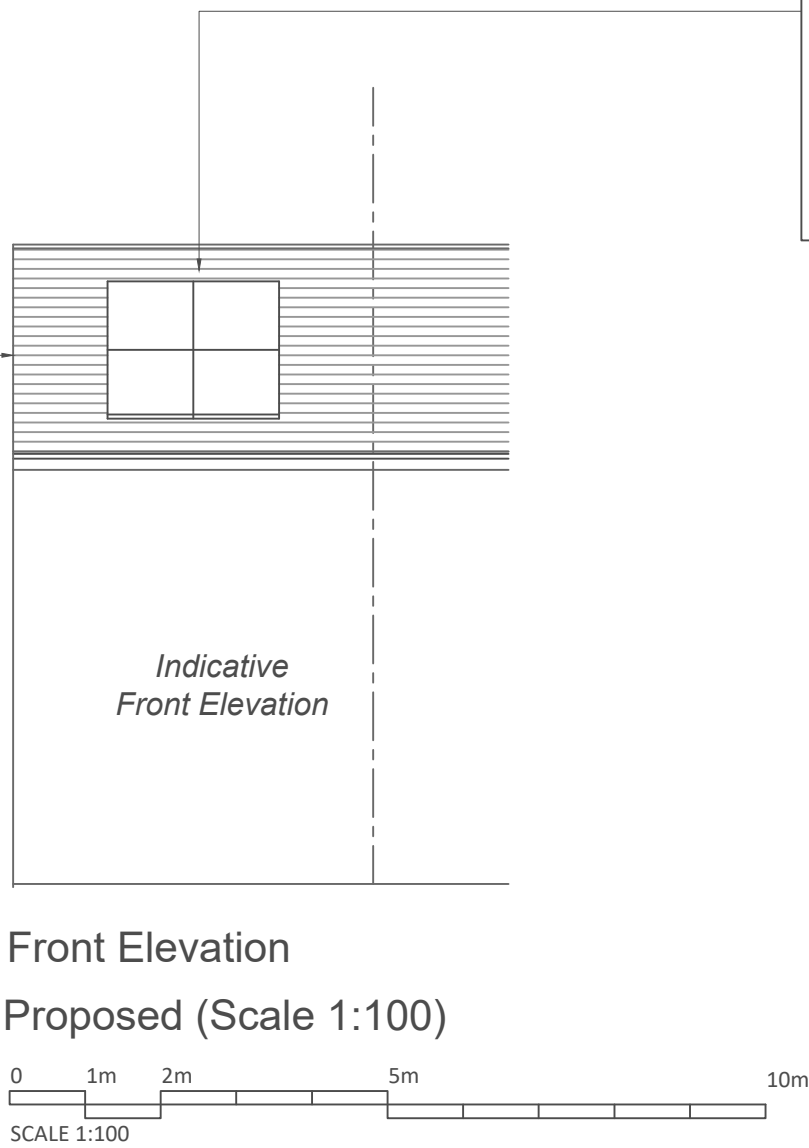
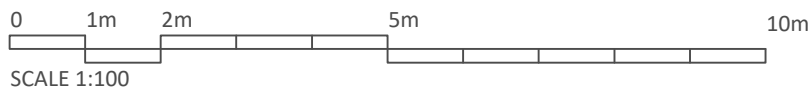
Existing slates and ridge tiles shall be set aside and retained for reuse wherever suitable.
New treated roofing battens shall be installed over the existing retained roof structure together with a new breathable roofing membrane. The retained slates and ridge tiles shall then be reinstated to match the existing roof covering, maintaining existing roof lines, levels and appearance.

The re-roofing works shall be carefully integrated with the retained adjacent roof covering of the neighbouring property, matching the existing arrangement and ensuring a weatherproof junction. Any replacement slates or ridge tiles required due to damage, loss or unsuitability of existing materials shall be reclaimed units sourced locally and shall closely match the existing materials in size, colour, texture and profile.

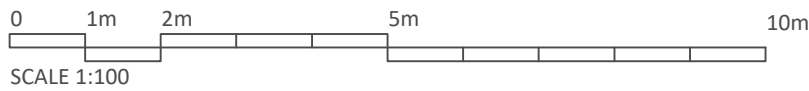
INDICATIVE ELEVATIONS



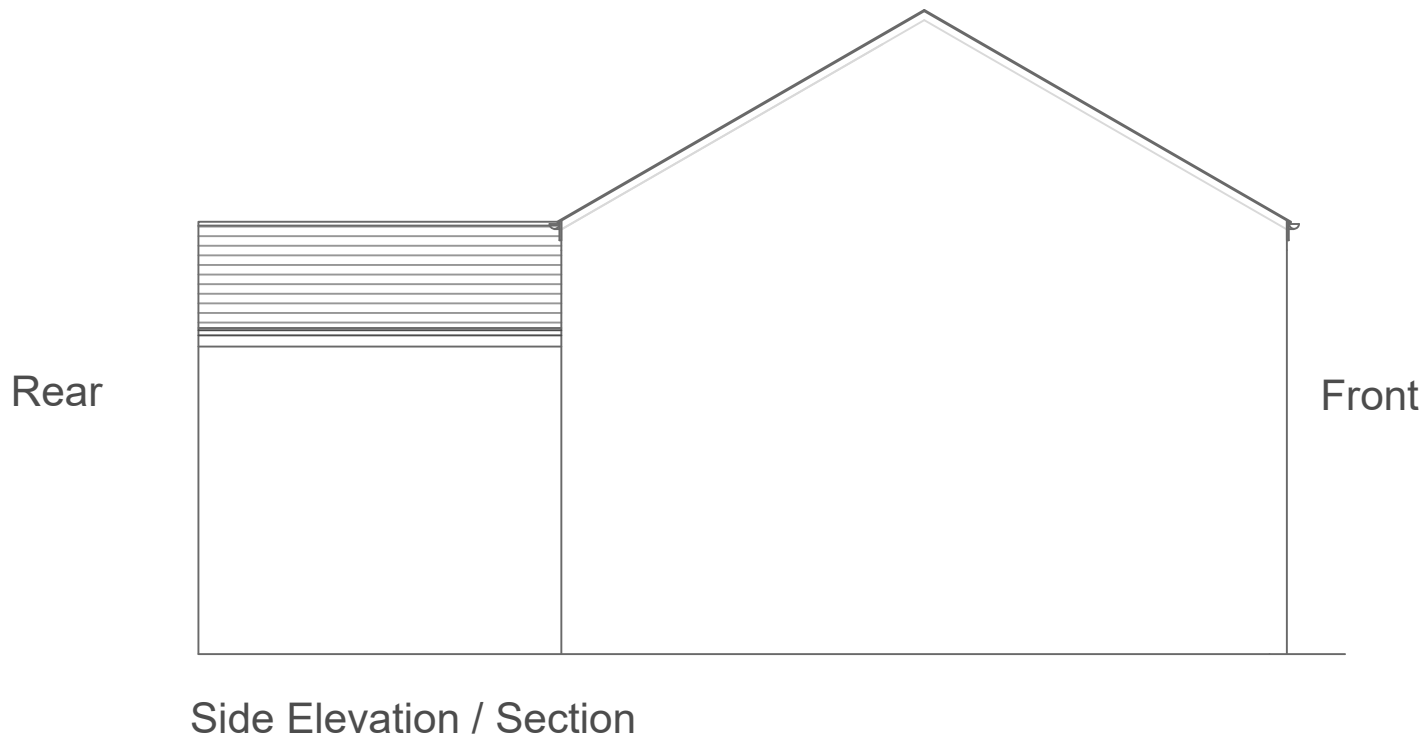
Front Elevation
Existing (Scale 1:100)



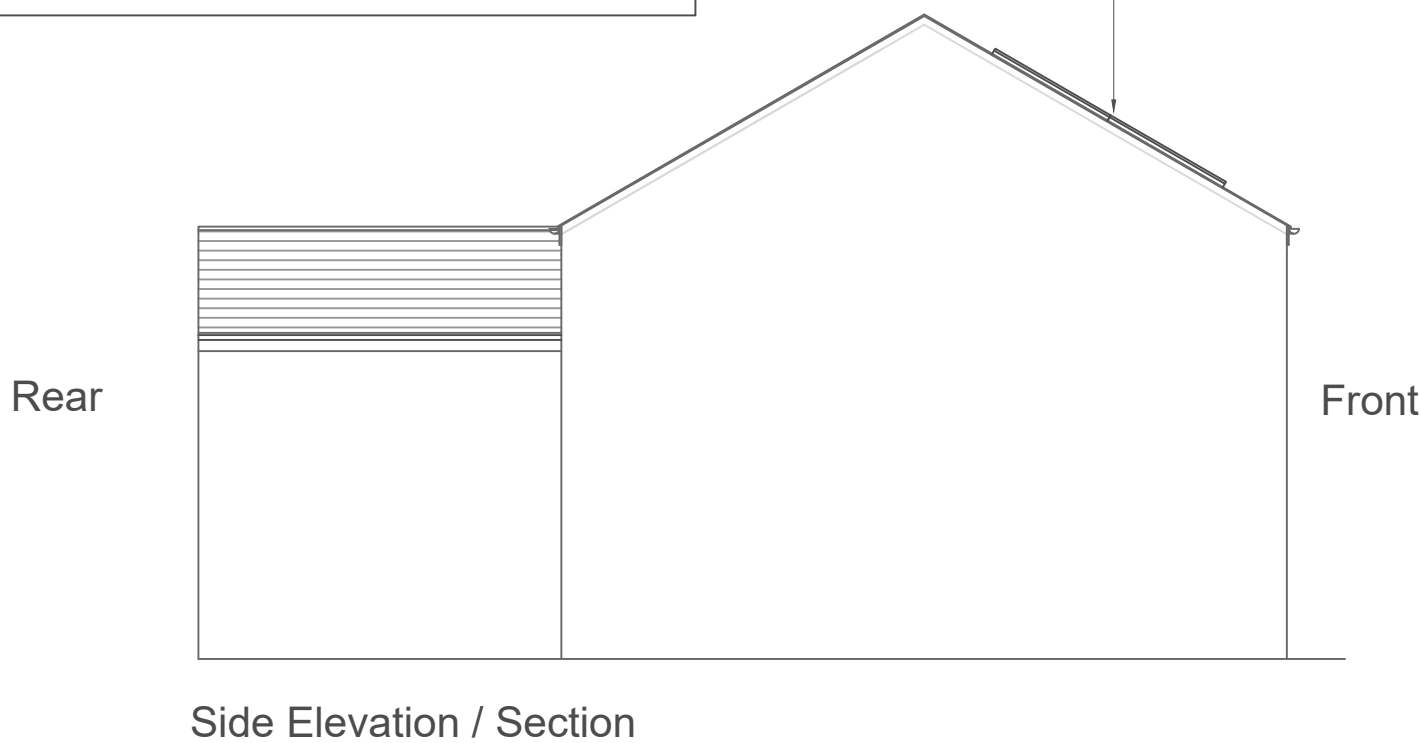
Front Elevation
Proposed (Scale 1:100)



PROPOSED SOLAR PANELS:
4no. solar panels afixed to the roof as shown, to the front slope / elevation.
Panels are 1762 (L) x 1134 (W) x 30mm (D) each, mounted on 50x29mm rails, which are directly afixed to the roof timbers. Proprietary weatherproofing seal provided at all penetrations. Overall roof projection of the system is <200mm. Panels will not project above the main ridgeline. Panels will be set back greater than 200mm from eaves. Battery & Inverter located to the rear of the property, at low level.



Side Elevation / Section



Side Elevation / Section

Rev	Date	Description
-	-	-

AGENT:
AF Planning & Design
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42 Church Street
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PR3 3YE

Project
Proposed Solar Panels

Drawing Title
Existing & Proposed Site Plans
& Elevations

Scale	Size	Date
1:100 & 1:200	A1	July 2026

Drawing Number	Revision
AF.26.ASC-006.01	-