

DWG issues - when this drawing is issued in DWG format it is an uncontrolled version and it is provided to enable the recipient to prepare its own documents/drawings for which it is solely responsible. It is based on background information current at the time of issue. Stanton Andrews accepts no liability for any alterations to, additions to or discrepancies arising out of changes to such background information which occur after it has been issued by Stanton Andrews.



HIGHWAYS

Ground surface material of proposed driveway to be bonded material (e.g. tarmac/adam or resin bound gravel) to prevent any loose materials being carried onto the public highway.

Any planting/walling etc within the visibility splay will be maintained to be a maximum of 0.9m in height.

Birdy Bow is classified as a C-road subject to national speed limit, maintainable at public expense. However, given the narrow, steep and winding nature of the road it is unlikely that any vehicles will be travelling at the full national speed limit.

Minimum 3no car parking spaces will be provided.
Cars will be able to 'enter and leave the site in a forward gear'.

- taken from 2.4m back from edge of carriageway
- nothing shall be erected, retained, planted and / or allowed to grow at or above a height of 0.9 metres above the roadside carriageway level which would obstruct the visibility splay of the proposed access.
- the access we are looking to maintain has visibility splays to the north and south where the roadside verge is within the ownership of the applicant, meaning the applicant will have full control over the maintenance of this area
- the existing southern access we are looking to close off relies upon the maintenance of the roadside verge to the south by others

B Site and Roof Plan
Scale: 1:200

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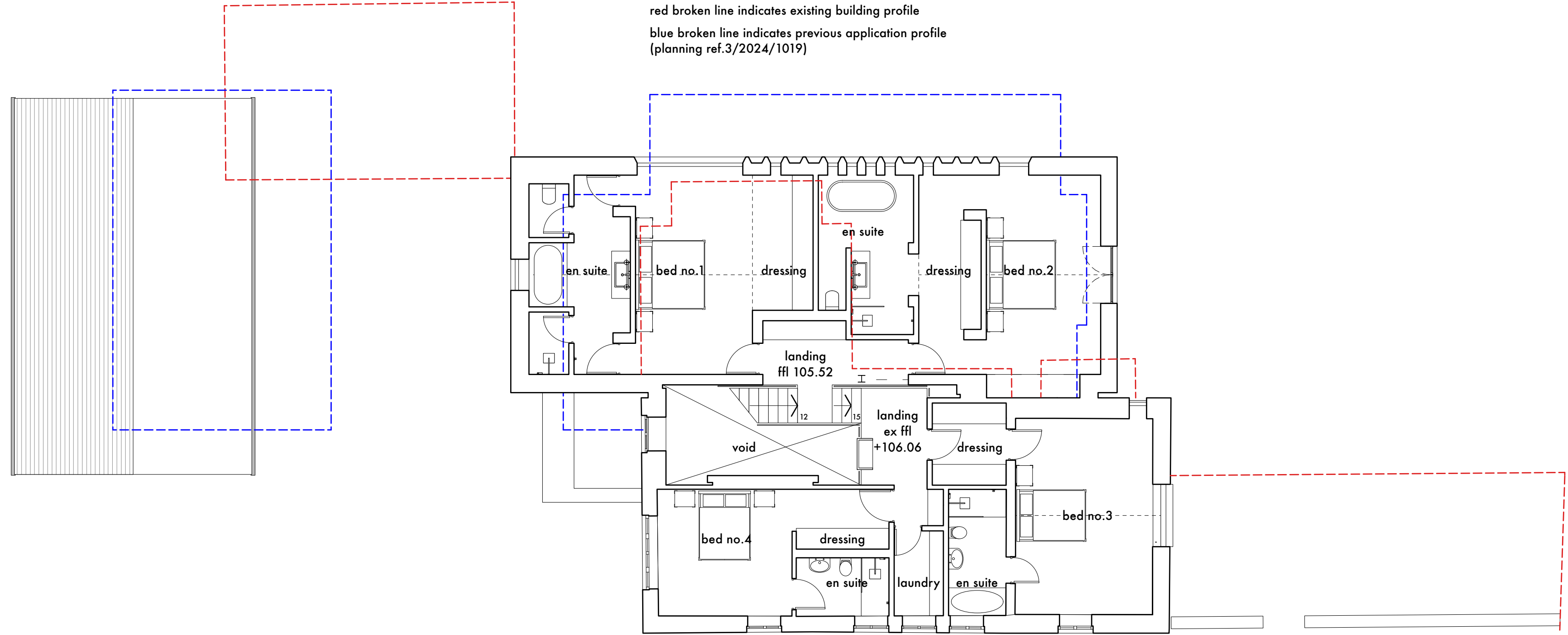
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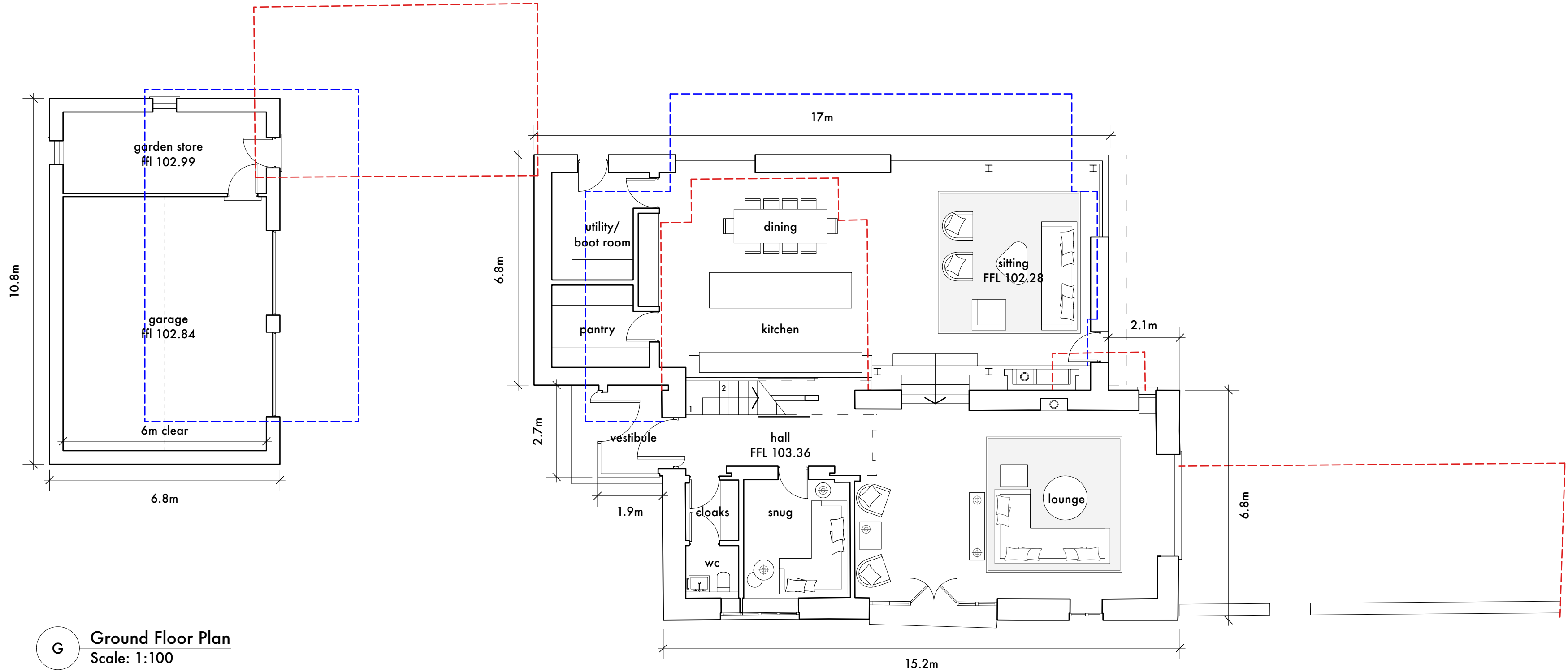
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Drawing is to be read in conjunction with all relevant consultants and specialists drawings. 'As existing' drawings based on information provided by others - no measured survey of the property has been undertaken by the architect. This drawing is subject to copyright.

revision	date	note
A	august 2026	issued for planning



F First Floor Plan
Scale: 1:100



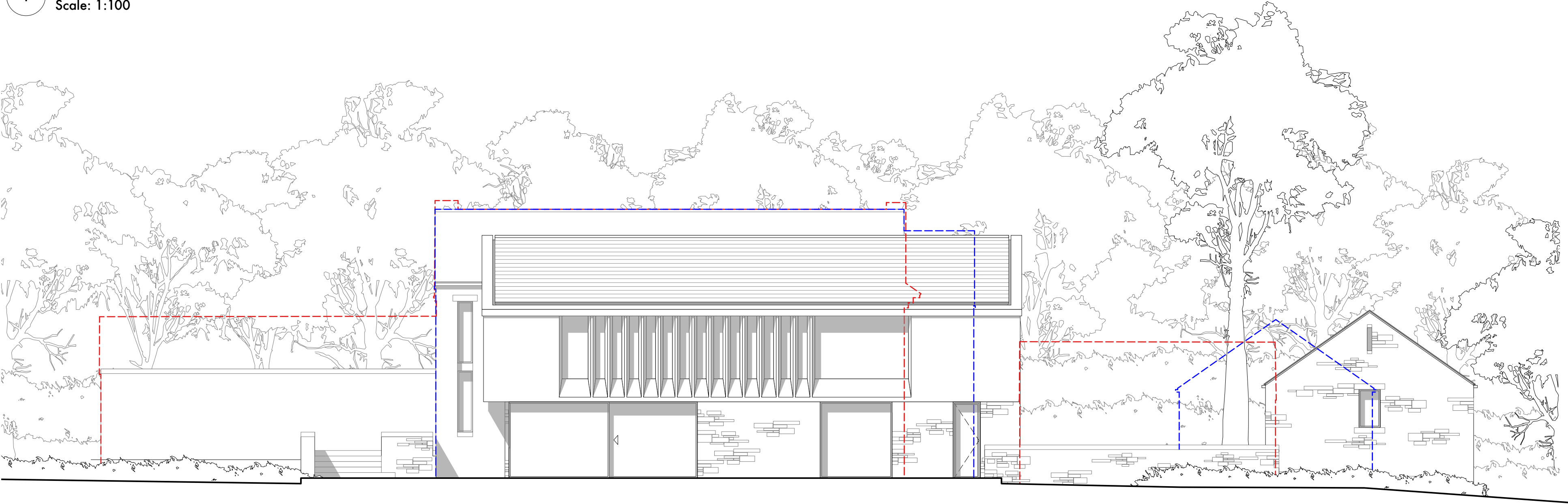
G Ground Floor Plan
Scale: 1:100

MATERIALS SCHEDULE
samples of proposed materials to be made available on requested

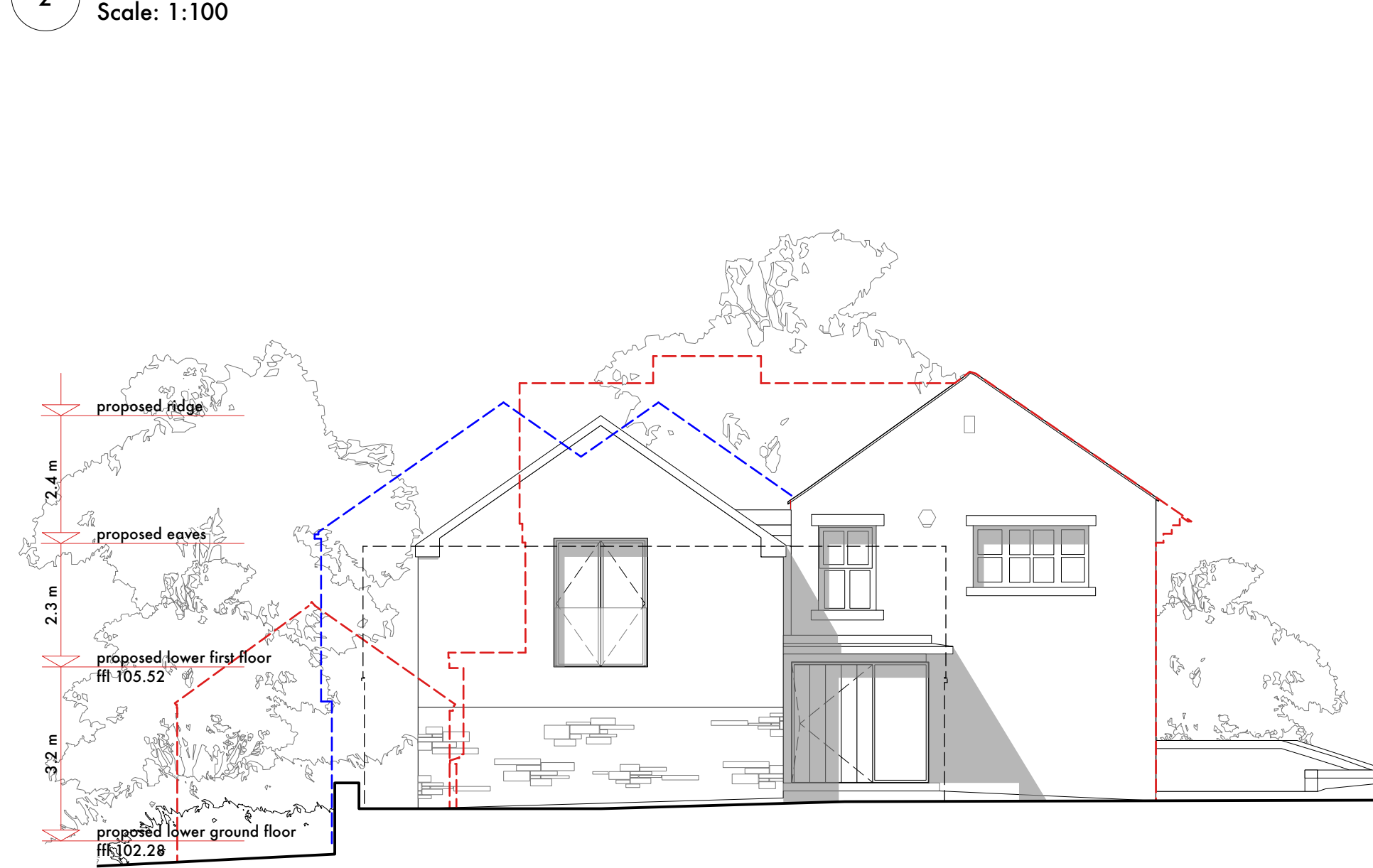
walls Locally sourced random and dressed stonework
roof natural black slate
windows polyester powder coated aluminium



1 North West Elevation
Scale: 1:100

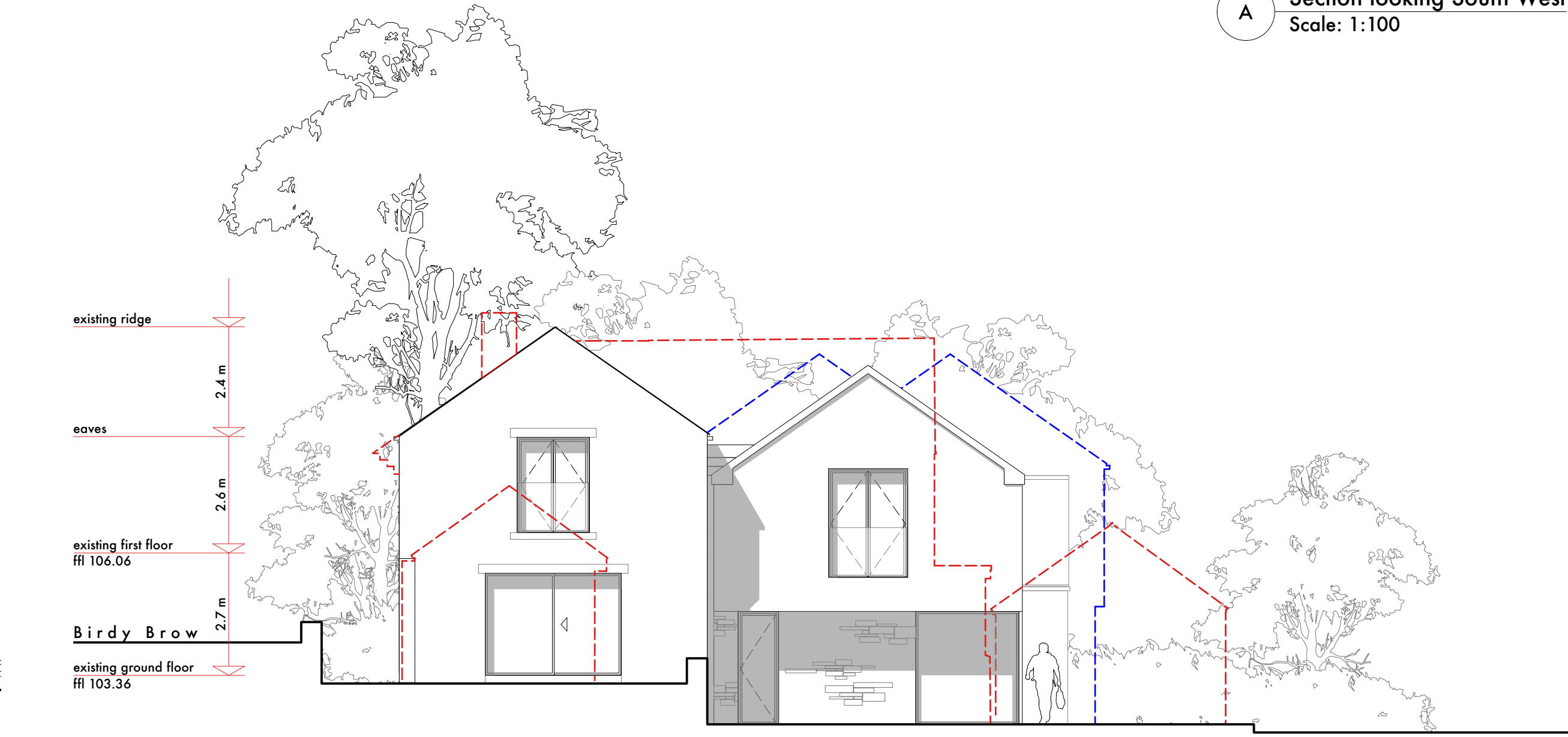


2 South East Elevation
Scale: 1:100



3 North East Elevation
Scale: 1:100

0m 10m scale



4 South West Elevation
Scale: 1:100

red broken line indicates existing building profile
blue broken line indicates previous application profile
(planning ref.3/2024/1019)

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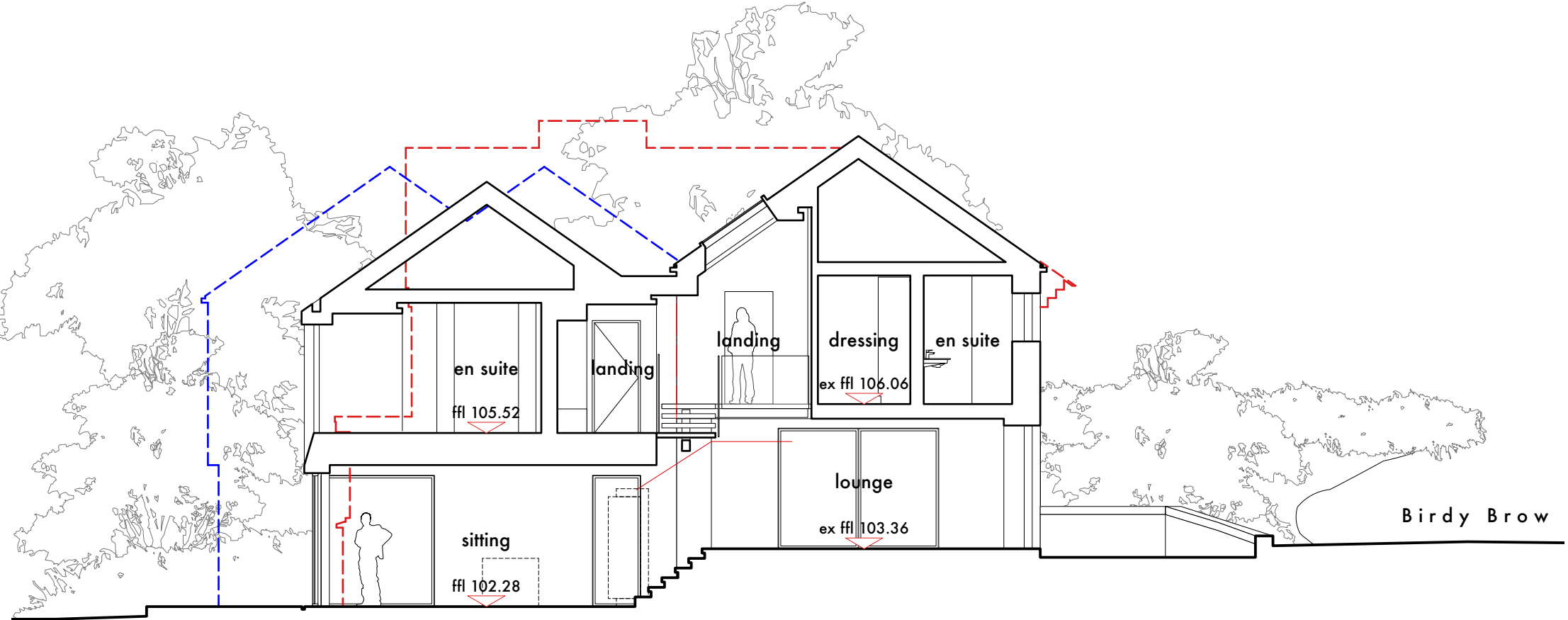
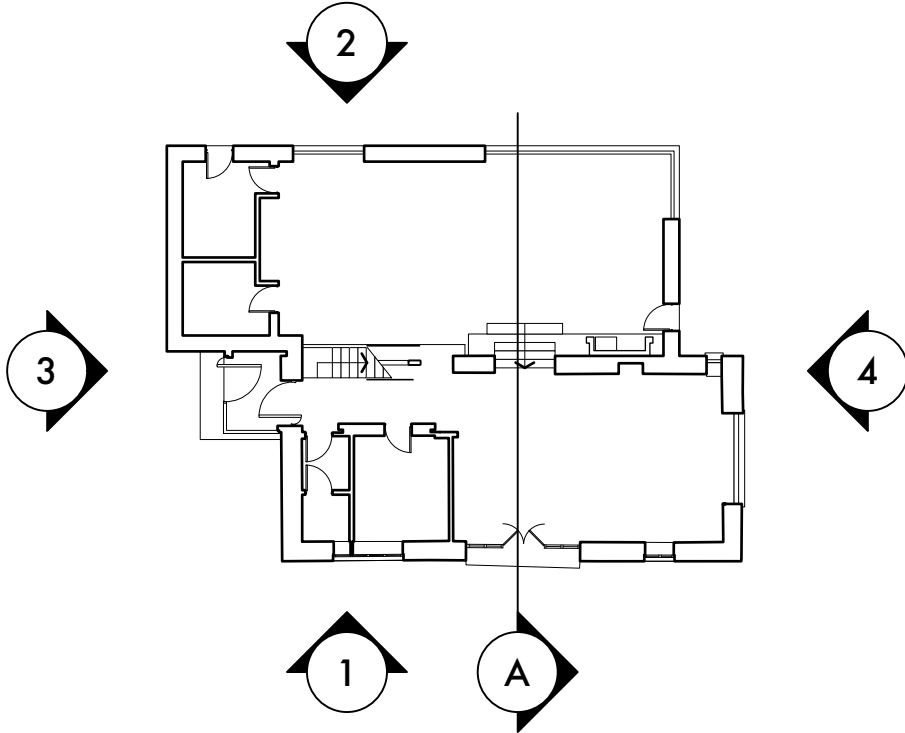
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revision A date august 2026 note issued for planning

KEY PLAN



A Section looking South West
Scale: 1:100

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project Kemple Down project number 23.61

proposed elevations and section

scale 1 to 100 @ A1 date june 2026 status planning application



PL.12

revision A