

Full Statement of Case

Appeal against Ribble Valley Planning and Listed Building Consent for 29 Church Street, Ribchester, PR3 3YE. 3/2023/0576 and 3/2023/0577. Annex 1, Annex 2

I wish to register an appeal against the refusal of planning permission and listed building consent for the erection of a rear porch on grade 2 listed building 29 Church Street, Ribchester, PR3 3YE. Ribble Valley planning applications 3/2023/0576 and 3/2023/0577.

Basis for appeal

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- with errors in the delegated report
- inconsistently with previous decisions on the property,
- inconsistently with the original listed state of the property,
- inconsistently with previous decision made on the adjoining property in the terrace with the same listing and construction,
- without due regard to the implications of the work on the property,
- with inconsistencies between the decision and local plan and guidance to planning authorities and based on inaccurate statements by the listing officer.

Property Background

The property is grade 2 listed, since November 1966 [28 AND 29, CHURCH STREET, Ribchester - 1072259 | Historic England](#) . The listing entry cites the architectural importance of the front aspect:

Pair of houses, 1745. Brick with sandstone dressings and slate roof. 2 storeys. Plinth, string course, chamfered quoins and moulded cornice gutter all of stone. No. 29, to the right, of 3 bays with central door. No. 28, to the left, of one bay with the door to the right. The windows have architraves, those on the ground floor having raised and fielded panels carved on aprons. The windows to No. 29 are sashed with glazing bars. Those to No. 28 are modern. Both doorways have architraves and cornices, that to No. 29 having a raised and fielded panel carved on its frieze. The right-hand gable has a stone chimney cap, the left-hand gable a modern cap. Between the houses is a brick cap, set forward of the ridge. At each end of the facade is a lead downspout with 'EEI 1745' cast on each hopper.

Numbers 28 and 28 are a single construction and were originally linked internally at ground and cellar levels. They can be seen at <http://mammal.crackled.systems>. The two properties are separately owned, but clearly sit together from an architectural heritage perspective.

The rear of the properties are constructed of stone and have a much lower visual impact. No aspect of the rear of the property is detailed in the listing description. The rear of the properties have been significantly altered since construction and since listing – see heritage statements Annex 4 Annex 5. Prepared in 2009 for a major refurbishment and in 2023 for this planning application.

Image 1: Google street view of 28 (black door) and 29 (grey door) Church Street, Ribchester. February 2023.



Image 2: Rear view of 29 Church Street 2023.



Proposed Work

Ribble Valley planning applications 3/2023/0576 and 3/2023/0577 propose the construction of a timber open porch over the rear door. The proposal seeks planning permission for a proposed porch to the rear. The porch would incorporate an Oak timber frame and pitched slate canopy, 2320mm in height to the eaves and 3280mm in height to the ridge. This is intended to provide weather protection for the rear door, which is south west facing and is subject to the prevailing wind and rain (Image 3). The porch will be constructed of oak, and be free standing. It will be attached to the rear wall to provide a weather seal between the porch roof and the rear wall, but no permanent alteration will be made to the fabric of the building. The porch could be removed with minimal evidence of its presence, requiring just fixing to the existing rear wall and flashing to seal the roof against the wall.

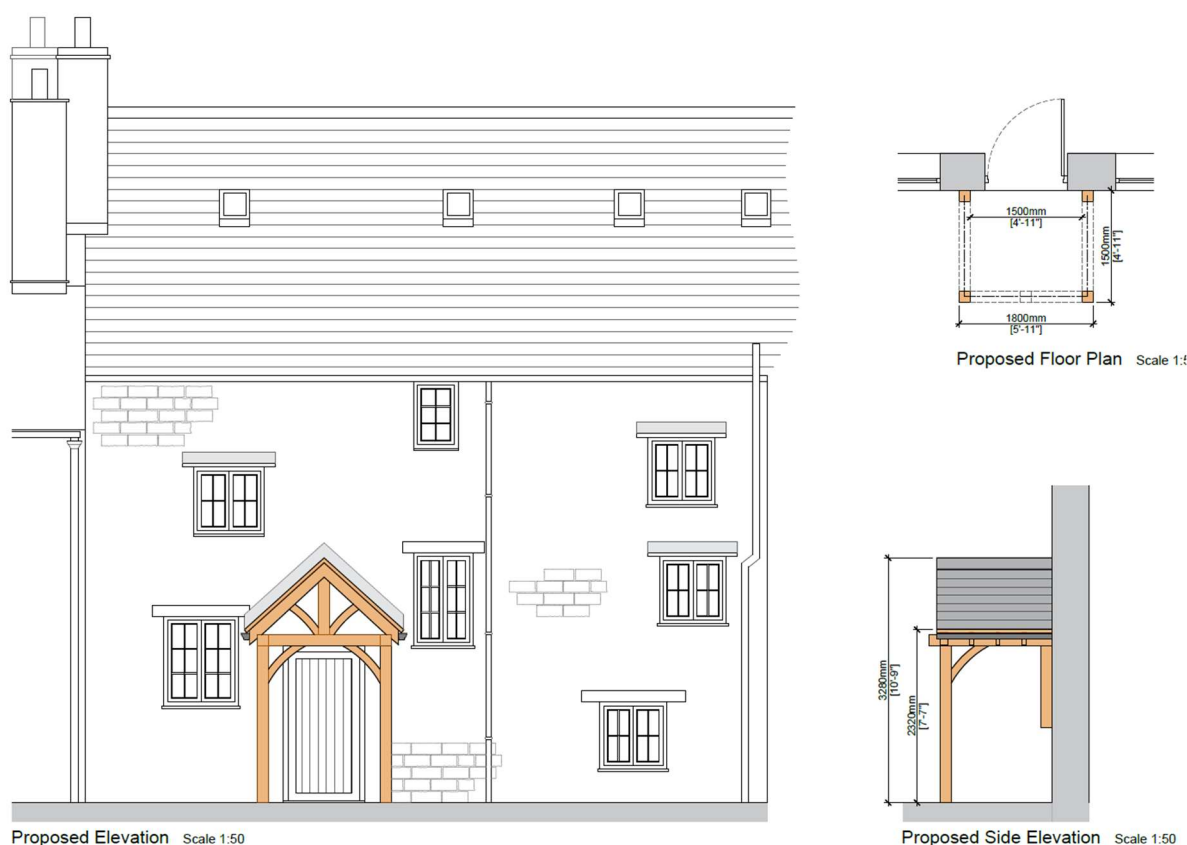
The proposed work is detailed in Listed Building and householder applications, with supporting Heritage statement. Annex 6, 7 and 5.

Architectural drawings of the proposed rear elevation showing the size of the rear porch is shown in Annex 8 and Image 4.

Image 3: Rear door of the property.



Image 4: Proposed rear porch illustration.



Property Planning History

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- inconsistently with previous decisions on the property,
- inconsistently with the original listed state of the property

The property has been granted listed building consent for several pieces of work relevant to the rear porch.

Table 1: Previous listed building and planning consents for 29 Church Street Ribchester

Number	Title	Relevance
3/2006/0909	Five replacement windows.	Replacement of front elevation windows.
3/2010/0090	Demolition of existing rear out-buildings and construction of new extension. Internal alterations and general repairs to update house to	Approved application for significant renovation of property. Including the work too remove rear kitchen and porch. Information from 2009

	modern living requirements/standards.	was gathered in support of this application.
3/2010/0091	Demolition of existing rear out-buildings and construction of new extension. Internal alterations and general repairs to update house to modern living requirements/standards.	Approved application for significant renovation of property. Including the work too remove rear kitchen and porch. Information from 2009 was gathered in support of this application.
3/2014/0789	Erection of a single storey rear extension in lieu of previously approved extension 3/2010/0091	Approved application for erection of rear porch significantly larger than the appealed application.
3/2014/0787	Erection of a single storey rear extension in lieu of previously approved extension 3/2010/0091	Approved application for erection of rear porch significantly larger than the appealed application.

At the time of listing the property had a rear kitchen (Image 5), which has since been removed under planning consent 3/2010/0090, including a replacement of the structure. The renovations were completed internally but the large rear extension (Image 6) was not completed. The heritage statement supporting the planning application contains details of the previous rear extension and shows the rear door as an internal door (Image 8). Annex 4, the Heritage statement (Annex 4 figures 3-9) provides evidence of rooms to the rear of the property dating back to at least 1838.

A separate application for a reduced rear extension was approved in 2014 under planning consent 3/2014/0789. This would have provided a rear extension of significantly greater size than the proposed rear porch, constructed of stone and glass (Image 7).

The decision to refuse consent for the rear porch is inconsistent with the decisions made under 3/2010/0090 and 3/2014/0789 which both provided for an extension of significantly greater:

- Footprint
- Visual impact
- Change to the building fabric

Additionally the property was listed with a rear extension significantly larger than the proposed rear porch, and has had rooms to the rear since at least 1838.

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

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- inconsistently with the original listed state of the property

Image 5: Pre-2009 rear extension.



Image 6: 3/2010/0090 approved rear extension.



Image 7: 3/2014/0789 approved rear extension.

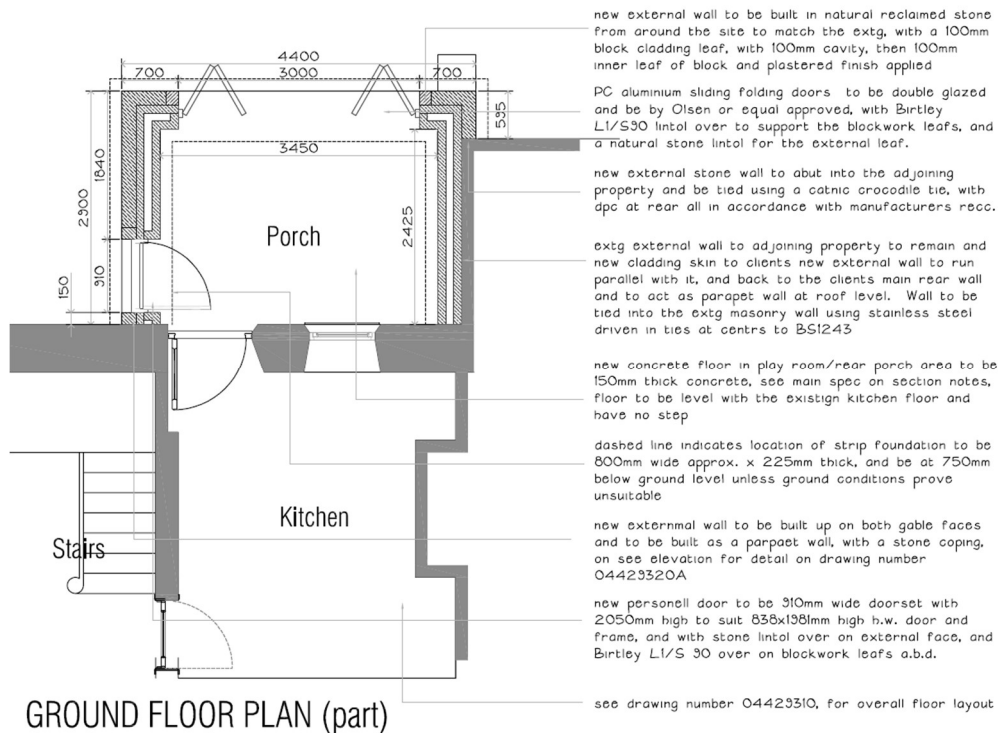


Image 8: View from inside the property showing the current rear door (red outline) as an internal door.



Errors in the Delegated Report

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- with errors in the delegated report

These errors have provided a flawed logic which misrepresents the history of the property and results in a flawed decision.

The Delegated Report cites a single reason for the refusal:

In this case, limited public benefit has been identified with the porch in so far as supporting short term employment in its construction, and providing a private benefit to the home owner by offering some shelter from the elements. The proposal is not considered to contribute towards securing the building's optimum viable use given it has stood without the porch since approximately 1745. As such the proposal is considered to fail the test outlined in NPPF Paragraph 202 and is not considered compliant with KS EN 5 and CS DME4, as well as CS Policies DMG1 and DME2.

As Detailed in the Property Planning History section above, the property has in fact stood without buildings and rooms to the rear since 2010, and stood with buildings or rooms adjoining the rear from at least 1838 to 2010. The flat rear elevation is neither the historic norm of the property, nor the situation at the time of listing, nor consistent with the neighbouring property. This is a clear error in the rationale for the listed building refusal. The protection of the flat rear elevation is historically inaccurate and inconsistent with previous planning consents and the heritage information available for the property.

The Delegated Report identifies:

The existing rear elevation of the Listed Building (including the adjacent attached dwellings) incorporates a number of features that provide positive visual amenity, and which contribute to the historic fabric of the building. One of these features is the layout of the fenestration, which is staggered and seemingly random, complete with stone heads and modern opening styles. The existing timber rear door also incorporates a stone head, and it is noted that there is no external projection on any element of the existing rear elevation and a minimal amount of modern domestic miscellanea which emphasises the strong flat elevation. As such there can be a good amount of historic fabric and character attributed to this rear elevation.

As demonstrated by a cursory investigation of the planning history of the property:

- The arrangement of the rear windows (*layout of the fenestration*) dates to 2010, prior to this the rear windows (*layout of the fenestration*) were significantly different.

- The existing timber rear door was in internal door, protected from the weather until 2010.
- The appearance of the rear elevation is a product of the planning consent 3/2010/0090 which included provision for a rear extension.

Additionally the proposed porch is such that no permanent alteration will be made to the rear windows (*layout of the fenestration*), or to the stone heads. The rear porch will simply act to protect the rear door which is subject to the prevailing weather, having been previously protected by the extensions, and expected to be protected by the approved extensions.

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- errors in the delegated report

These errors have provided a flawed logic which misrepresents the history of the property and results in a flawed decision.

Neighbouring Property

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- inconsistently with previous decision made on the adjoining property in the terrace with the same listing and construction,

As detailed in the Property Background section above, numbers 28 and 29 Church Street are listed together and were constructed as a single dwelling. 28 Church Street has two large extensions to the rear, a pitched roof two storey extension and a flat roof single storey extension (Image 9). Both extensions have listed building consent from RVBC and are of significantly larger size, area and visual impact than the proposed rear porch.

Image 9: Rear of 28 Church Street, showing two storey and single storey extensions.



In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- inconsistently with previous decision made on the adjoining property in the terrace with the same listing and construction,

Errors In Implementation Of Ribble Valley Local Plan 2008 - 2028

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- with inconsistencies between the decision and local plan and guidance to planning authorities and based on inaccurate statements by the listing officer..

The following guidance is taken from the government guidance on planning relating to the historic environment.

[Historic environment - GOV.UK \(www.gov.uk\)](https://www.gov.uk/guidance/historic-environment)

What is meant by the conservation and enhancement of the historic environment?

Conservation is an active process of maintenance and managing change. It requires a flexible and thoughtful approach to get the best out of assets as diverse as listed buildings in every day use and as yet undiscovered, undesignated buried remains of archaeological interest.

In the case of buildings, generally the risks of neglect and decay of heritage assets are best addressed through ensuring that they remain in active use that is consistent with their conservation. Ensuring such heritage assets remain used and valued is likely to require sympathetic changes to be made from time to time.

... ensure that heritage assets are conserved, and where appropriate enhanced, in a manner that is consistent with their significance and thereby achieving sustainable development.

The following guidance is taken from the Ribble Valley Local Plan 2008 - 2028:

[Microsoft Word - Composite Submission.doc \(ribblevalley.gov.uk\)](#)

Policy DME4

2. Listed buildings and other buildings of significant heritage interest development proposals on sites within the setting of listed buildings or buildings of significant heritage interest, which cause visual harm to the setting of the building, will be resisted. Any proposals involving the demolition or loss important historic fabric from listed buildings will be refused unless it can be demonstrated that this is unavoidable.

Errors in application.

The decision fails to protect the fabric of the historic building and does not provide a flexible and thoughtful approach to get the best out of the listed building. The proposed rear porch would protect the rear door and frame from decay caused by the prevailing weather. The proposed porch is consistent with the building's significance and is sustainable.

The proposed rear porch erroneously identifies a loss of important historic fabric. The recommendation for refusal states that:

The proposal, by virtue of the provision of a new, ornate and inherently discordant projecting feature to the rear elevation, does not preserve or enhance the significance of this Grade II Listed Building.

Under the RVBC local plan the planning authority does not include provision for the consideration of the enhancement of listed buildings. The citation of the planning officer's opinion that the proposed rear porch does not enhance the building is therefore outside the local plan and should therefore not form part of the decision.

As discussed in the Errors in Delegated Report section above, the rationale that the proposed rear porch does not preserve the building is based upon erroneous statement of the history of the building. The rear windows and flat aspect result from renovations in 2010, with evidence provided in this document for the rear of the building not being flat from 1838 to 2010.

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

- with inconsistencies between the decision and local plan and guidance to planning authorities and based on inaccurate statements by the listing officer.

Conclusion

I wish to appeal the decision made to refuse listed building and planning consent for a porch to the rear of 29 Church Street, Ribchester.

The information provided above is evidence that the decision has been incorrectly made. Significant factual inaccuracies, conjecture and departure from planning guidance mean that the decision is unsound and should be reconsidered.

In response to the Decision Notice and Delegated Report Annex 3 I believe that the decision by RVBC has been made:

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- without due regard to the implications of the work on the property,
- with inconsistencies between the decision and local plan and guidance to planning authorities and based on inaccurate statements by the listing officer.

Documents submitted in support of appeal:

Number	File	Description	Purpose
1	23 0576 Decision Notice	Planning application decision	Ribble Valley Borough Council (RVBC) planning decision.
2	23 0577 Decision Notice	Listed building consent decision	Ribble Valley Borough Council listed building decision.
3	3-2023-0576_1140616-Delegated Report (1)	Delegated report	Commentary on reason for refusal by RVBC.
4	Heritage Statement 2009	2009 Heritage statement	Detailed heritage statement in support of listed building consent 3/2010/0090. Showing the changing use of the rear of the property, the

			porch and kitchen present at the time of listing and the changing rear elevation. Fig 11, Photo 9 and Photo 10 illustrate.
5	6900-Heritage Statement (Proposed Porch)	Heritage Statement for rear porch	Heritage statement submitted in listed building application
6	Listed Building Application-New Rear Porch	Listed building application form	Evidence of listed building application to RVBC
7	Householder Application-New Rear Porch	Planning application form	Evidence of planning application
8	6900-SK01-Proposed Porch Plans and Elevations	Rear elevation drawings – with rear porch	Architectural drawing of rear porch
9	6900-Flood Risk-Assessment_2023.08.04	Flood risk assessment	Flood risk assessment prepared at request of RVBC for additional 4m ² of roofing
10	6900-E01-Existing Elevation	Existing elevation of rear of property	Illustration of existing property rear elevation
11	6900_Rev A Location Plan	Location plan	Property curtilage illustrated in red
12	Kitchen walldoor	Picture of building interior showing rear door as an internal door.	The wooden door show open in the picture, taken in 2009, is the rear door of the property at the time of the listed building application. Evidence that the proposed rear porch is a significantly smaller structure than that in place at the time of listing of the building.
13	Rear elevation 2009	Picture of rear elevation 2009.	Picture of the rear of the property in 2009 showing the porch and kitchen to the rear of the property, significantly larger than the proposed rear porch. The window locations at the rear of the property differ significantly from the rear elevation photographs of 2023 showing that the rear

			elevation has been altered with consent from the original layout as listed.
14	P.009 - Topographical Survey and Existing Ground Floor Plan	2009 ground floor plan	Evidence of the kitchen and porch to the rear of the building in 2009, significantly larger than the proposed porch.
15	P.007 - Existing Section - 1-50	2009 section drawing	Evidence of the kitchen and porch to the rear of the building in 2009, significantly larger than the proposed porch.
16	pics of old porch	Description of rear porch approved but not built as part of planning consent 3/2010/0090	3/2010/0090 planning and listed building consent included the provision for a large rear extension to replace the previous rear porch and kitchen. This was not built, but consent remains extant as part of the larger scheme, the other renovations being completed in 2012.
17	04429330 ground floor plan (1)	Architectural drawings for rear porch, approved in planning application 3/2014/0789 Ribble Valley Borough Council.	Plan view of porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough Council. This was not built. Conditions 2 and 3 were met.
18	04429330 proposed section (1)	Architectural drawings for rear porch, approved in planning application 3/2014/0789 Ribble Valley Borough Council.	Section view of porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough Council. This was not built. Conditions 2 and 3 were met.
19	approval note 3_2014_0789 RVBC	Approval of porch to the rear or property under RVBC planning application 3/2014/0789.	Listed building consent for porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough

			Council. This was not built. Conditions 2 and 3 were met.
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Documents submitted in support of Application and appeal:

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2	23 0577 Decision Notice	Listed building consent decision	Ribble Valley Borough Council listed building decision.
3	3-2023-0576_1140616-Delegated Report (1)	Delegated report	Commentary on reason for refusal by RVBC.
4	Heritage Statement 2009	2009 Heritage statement	Detailed heritage statement in support of listed building consent 3/2010/0090. Showing the changing use of the rear of the property, the porch and kitchen present at the time of listing and the changing rear elevation. Fig 11, Photo 9 and Photo 10 illustrate.
5	6900-Heritage Statement (Proposed Porch)	Heritage Statement for rear porch	Heritage statement submitted in listed building application
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8	6900-SK01-Proposed Porch Plans and Elevations	Rear elevation drawings – with rear porch	Architectural drawing of rear porch
9	6900-Flood Risk-Assessment_2023.08.04	Flood risk assessment	Flood risk assessment prepared at request of RVBC for additional 4m ² of roofing
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11	6900_Rev A Location Plan	Location plan	Property curtilage illustrated in red
12	Kitchen walldoor	Picture of building interior showing rear door as an internal door.	The wooden door show open in the picture, taken in 2009, is the rear door of the property at the time of the listed building application. Evidence

			that the proposed rear porch is a significantly smaller structure than that in place at the time of listing of the building.
13	Rear elevation 2009	Picture of rear elevation 2009.	Picture of the rear of the property in 2009 showing the porch and kitchen to the rear of the property, significantly larger than the proposed rear porch. The window locations at the rear of the property differ significantly from the rear elevation photographs of 2023 showing that the rear elevation has been altered with consent from the original layout as listed.
14	P.009 - Topographical Survey and Existing Ground Floor Plan	2009 ground floor plan	Evidence of the kitchen and porch to the rear of the building in 2009, significantly larger than the proposed porch.
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16	pics of old porch	Description of rear porch approved but not built as part of planning consent 3/2010/0090	3/2010/0090 planning and listed building consent included the provision for a large rear extension to replace the previous rear porch and kitchen. This was not built, but consent remains extant as part of the larger scheme, the other renovations being completed in 2012.
17	04429330 ground floor plan (1)	Architectural drawings for rear porch, approved in planning application 3/2014/0789	Plan view of porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough Council. This was not built.

		Ribble Valley Borough Council.	Conditions 2 and 3 were met.
18	04429330 proposed section (1)	Architectural drawings for rear porch, approved in planning application 3/2014/0789 Ribble Valley Borough Council.	Section view of porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough Council. This was not built. Conditions 2 and 3 were met.
19	approval note 3_2014_0789 RVBC	Approval of porch to the rear or property under RVBC planning application 3/2014/0789.	Listed building consent for porch significantly larger than the proposed porch approved by RVBC in 3/2014/0789 Ribble Valley Borough Council. This was not built. Conditions 2 and 3 were met.
20	Statement_1_pdf	Design and Access Statement 2009	Information on building state 2009, including rear aspect.

29 Church Street
Ribchester, Lancashire:
Historic Building Assessment



October 2009

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29 Church Street Ribchester, Lancashire: Historic Building Assessment

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Photographs

SUMMARY

No. 29 Church Street forms one of a pair of adjoining houses built in 1745 in the centre of Ribchester, and contains much good, original joinery, as well as a largely unaltered frontage, and is listed (grade 2). This report provides some historical background information and an assessment of the building's development, character and features, intended to inform proposals for alterations and refurbishment to be drawn up by IWA Architects, at the request of the present owner, Mr Russell Milnes.

October 2009

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29 CHURCH STREET, RIBCHESTER, LANCASHIRE:

HISTORIC BUILDING ASSESSMENT

1 Introduction

- 1.1 This report presents the results of an historic building assessment at 29 Church Street, Ribchester, in Lancashire. The work was commissioned by the owner Mr Russell Milnes via his architects IWA Architects Ltd, to assist with the preparation of a scheme for alterations and extension to the house, which is listed (grade 2) and lies within the Ribchester conservation area.
- 1.2 The property forms part of a town house or pair of houses, dated 1745, of which the south part (no 28) is now separately owned. It is a building of some quality which is reputed to have served as a public house at some time although it is thought not to have been built for this purpose.

2 Location of the site

- 2.1 Church Street forms one of the principal roads within the village of Ribchester, which lies on the north bank of the River Ribble, mid-way between Preston and Clitheroe, within Ribble Valley Borough (Figure 1). The street leads towards Longridge, and No 29 stands its west side, near the north end of the historic core (NGR: SD 649354). To the rear of the house is a large garden or croft, on which stand various outbuildings or their remains, including a two storey stone barn or stable, and the remains of other, minor historic structures. Two later cottages on the north side of the house, Nos 30 and 31, were until recently in the same ownership, but are not included in this study (Figure 2).

3 Background to and aims of the study

- 3.1 The brief for this work was provided by IWA Architects. Its purpose is to inform on the priorities for conservation of existing fabric at the property, and also to identify areas might be considered less important or even detrimental to the character of the house, and so might be removed or replaced, in order to improve the historic and architectural qualities of the building.

4 Historical background

- 4.1 Ribchester's origins lie in the Roman period when there was a fort and a sizeable civilian settlement near a ford across the Ribble, but its status during the medieval and early post-medieval period was much reduced, when it comprised

only a small village, very rural in character and lacking a market. Commentators in the 16th and 17th centuries noted its poverty, although by 1700 flax spinning and weaving on a domestic scale were significant economic activities in the village, which otherwise was very much dominated by farming. From the mid 18th century an increasing number of inhabitants took up cotton weaving within their homes, bringing greater prosperity, and this trend continued into the mid 19th century, when the development of the power-loom led to cotton textile production moving out of the domestic environment and into factories, mostly in towns. Ribchester's location, away from principal communication routes, can be partly blamed for its failure to grow into an industrial town, and the village's population fell after around 1850, as hand-loom weaving rapidly declined.

- 4.2 In early post-medieval times the village centre appears to have been located towards the south end of the present Church Street, near its junction with Water Street, and the form of building plots suggests that the settlement was unplanned in the medieval period. There are a few dated 17th century houses in this area, but these streets are more generally dominated by late 18th and early 19th century houses, many of which were built or adapted to accommodate weaving.
- 4.3 Relatively little information has been found relating to 29 Church Street itself, during a rapid study of the readily available historical information. The house is dated to 1745 by the rainwater hoppers at each end of the front elevation (shared with no 28), which also bear the initials "EEI", an individual or couple whose identity has not so far been established. The numbering of houses along Church Street is clearly a relatively modern phenomenon, and the house is not documented as having borne any name, but there is a local tradition that it was once a public house known as the King's Arms¹. However only a single reference to a pub of that name has been found, in an 1880 document concerning the lease of a farm at Preston, which names a farmer called Richard Thomas Dewhurst, of the Old King's Arms, Ribchester². Accounts of the village's pubs and inns have not noted an establishment called the King's Arms³, and a directory of 1854 lists only the Black Bull, Red Lion, White Bull and White Cross in Ribchester⁴, so it was probably a minor beer-house rather than a more substantial enterprise, which was adapted to this purpose rather than built with that use in mind. Because the 19th century census returns for Church Street do not identify individual properties by name or number, this potential source of information does not bear fruit in this regard.

¹ Mr Milnes, the present owner, recalls this tradition

² LRO DDX 1368/8

³ Lancashire County Council and Egerton Lea Consultancy, 2006 *Ribchester: Historic Town Assessment Report*; The Conservation Studio, 2005 *Ribchester Conservation Area Appraisal*

⁴ Mannex & Co 1854 *History, Topography & Directory of Mid Lancashire* p370

Map evidence

- 4.4 The earliest map which shows the site is the tithe map of 1838, at an unusually large scale for this type of document⁵ (Figure 3). The house is numbered 88 on this map, the dotted line separating it from 87 suggesting a subdivision of a formerly single property. This map, along with later maps, appears to show that the main part of the surviving single storey back kitchen was extant by this time. As well as this, the house in 1838 had a building attached at the rear, no longer extant, which was possibly that demolished by Mr Milnes' father in around 1970: a photograph shows this as having been a two storey rubble structure, probably of early 19th century date, with a forking hole in its south-west gable (Figure 4). However, the tithe map may not be wholly accurate, so it is doubtful that this is a precise depiction of the building still standing in the 1960s. On the tithe map the croft to the rear is numbered 89, therefore associated with the present nos 30 and 31 Church Street, and contains the still standing barn or stable, and a small building at the south-west boundary, perhaps a privy.
- 4.5 The tithe apportionment which accompanies the map lists "88" as the property of John Waterworth's heirs (who also owned 87 and 89). The occupiers of 88 and 89 were described as "in hand", the former comprising a "house", the latter "warehouse outbuilding yard and croft". No.87 on the other hand, which formed "house and yard" was occupied by Alice Walton. It is not clear exactly who John Waterworth's heirs were, but there may have been some association with a charity established in 1842 by Mrs Betty Dewhurst, known commonly as "Waterworth's Dole", which distributed the interest on a £1300 benefaction among the "poor, indigent and well deserving individuals" of Ribchester⁶.
- 4.6 The Ordnance Survey's first edition 6" to the mile map, surveyed in 1844 (Figure 5), appears to show a similar arrangement at the site, but is of too small a scale to be a reliable indicator of the buildings' outlines. Later maps are of more use however, the 1:2500 map surveyed in 1892 showing a much larger building to the rear of 29 Church Street than was present in 1838, along with a number of other more minor new structures (Figure 6). There was a similar arrangement recorded in 1910 (Figure 7), but the 1930 revision omits most of the outbuildings, which was probably for reasons of clarity and economy, rather than indicating their demolition (Figure 8). The 1967 edition of the OS map appears to show that the main outbuilding at the rear of no. 29 had by then been demolished (Figure 9).

⁵ LRO PR2905/4/4

⁶ Smith, TC 1890 *The History of the Parish of Ribchester* p221

Listed building description

- 4.7 The house is listed as one of a pair with no 28 Church Street, under number 183026, with the following description:

Pair of houses, 1745. Brick with sandstone dressings and slate roof. 2 storeys. Plinth, string course, chamfered quoins and moulded cornice gutter all of stone. No. 29, to the right, of 3 bays with central door. No. 28, to the left, of one bay with the door to the right. The windows have architraves, those on the ground floor having raised and fielded panels carved on aprons. The windows to No. 29 are sashed with glazing bars. Those to No. 28 are modern. Both doorways have architraves and cornices, that to No. 29 having a raised and fielded panel carved on its frieze. The right-hand gable has a stone chimney cap, the left-hand gable a modern cap. Between the houses is a brick cap, set forward of the ridge. At each end of the facade is a lead downspout with 'EEI 1745' cast on each hopper.

5 Account of the building

- 5.1 The house fronts directly onto Church Street and this elevation is distinguished by the use of Flemish bond brickwork with sandstone dressings, an unusual use of brick in a district where stone was readily obtained in the mid 18th century. The style is classical and accomplished, and there appear to have been almost no changes to this front, apart from the replacement of the window frames, those to 29 being modern sashes only a few years old, and believed to closely replicate those they replaced (Photo 1). The front door itself is original as is some of its furniture, which includes massive L-hinges primitively hung on pintles (Photos 2, 3). It is not clear whether the presence of two doorways in this front indicates that 28 and 29 were originally two houses, and internal arrangements suggest otherwise, so an alternative explanation for the dual entrances should be sought. No 30 abuts the north gable of the house, so very little of this side of it is visible; the blue slate roof covering is no doubt a replacement of earlier stone slates.
- 5.2 The house is fully double-depth, and its ground floor is arranged in an essentially symmetrical manner characteristic of Georgian houses, with a centralised circulation, based on an entrance hall leading to dog-leg stairs within the rear portion. A moulded timber arch flanked by fluted pilasters separates the front part of this hall from the rear (Photo 4), and forms part of a large amount of surviving early joinery in the house, very likely to be original to the 1745 building, and of a quality which suggests the house was built by someone of means and aspiration, and with knowledge of architectural fashion. Most of the doors have six raised and fielded panels and matching reveals and broad moulded

architraves (Photo 5), and the front windows also have raised and fielded panels to the interior (Photo 6).

- 5.3 To the south of the hallway there appears to have been a passage linking the interior with no. 28, now blocked off and partly within the adjacent house, with the remainder now forming the present small pantry, the entrance to which has a fan-light over the door, implying that it was a significant division within the building (Photo 8). Possible explanations for this arrangement include the use of the present no 28 as the dwelling of a dependent relative. A dog-leg arrangement in the east side of the pantry thus created is thought by Mr Milnes to have once contained a serving hatch from the time when the building was a pub, the adjacent front room then having been a bar area. Such an arrangement is not thought to have been in keeping with the house of 1745 however, so if this was the case it is likely to have been a later alteration.
- 5.4 The rooms to the north of the hall have also been altered, with the wall dividing the front room from the kitchen to the rear having been taken down and then partly rebuilt, incorporating the present wide doorway, in the late 20th century (Photo 7). None of these rooms contain their original fireplaces, although the present lintel to the kitchen fireplace is believed to be original. At the rear of the kitchen the framed plank door is probably of 1742, but the adjacent window has been much enlarged in the 20th century. The back kitchen beyond comprises two rooms. The larger part, which is central to the house, appears to be relatively early, and is shown on 19th century maps. This has thick walls and a stone slate roof, which cuts across the lower stair window. To the north-west of this is a smaller addition with flat roof, believed to have been built by Mr Milnes' father and of poorer quality. Despite the difference in dates, neither of these additions enhances the appearance of the rear elevation, which is cluttered and irregular (Photos 9 & 10). It is a much plainer elevation than the front however, being of coursed stone and lacking dressings.
- 5.5 The rooms at the south-west corner of the house are at different levels from the others, and that on the ground floor serves as a half-cellar, which accords with the suggestion that the adjacent front room was the public room of a beer-house. A room (the present bathroom) has been contrived as a mezzanine floor above this.
- 5.6 The staircase is another very significant element of the house, having an open string, with the turned balusters being in pairs, one plain and one fluted baluster per tread (Photo 11), although above the first floor there is only one (fluted) baluster per tread, and the balustrade is partly boxed in. Two windows light the half-landings on the stairs, one between ground and first floor and one between

first floor and attic, but both are partly blocked, the lower one by the present kitchen extension, the upper one for no obvious reason, except perhaps as a means of connecting the overhead electricity cable.

- 5.7 On the first floor the house's symmetrical arrangement is more clearly laid out and there are two heated rooms and three unheated: of the latter, one is in the centre of the front, and the other two are the rear rooms, of which that at the south-west corner is reached up a modern set of stairs within a passage, which may be another former means of communication with the adjacent property. Anomalies in wall thickness and the fact that the room divisions do not match the structural timbers above do raise the possibility that the rest of the arrangement is not original, although the majority of the doors and the front windows on this floor are of the same style as on the ground floor (albeit the doors to the rear rooms are four panel rather than six), and there is a similarly worked moulded timber arch to the division between front and rear, over the landing (Photo 12). An original fireplace with cyma moulded stone surround survives in the south-east first floor room (Photo 13), and there is a plainer stone fireplace in the other front room, thought to be 19th century (Photo 14).
- 5.8 The stairs continue to the attic with the same decorative features, but this floor of the house does not appear to have been intended for permanent habitation, other than perhaps by servants. There is an irregular arrangement of support for the roof, with a brick cross-wall on the north side of the stairs and a roof truss to the south, and masonry walls at the ends, including that to the south which divides 28 from 29: a connecting doorway between the two has been bricked up. The truss itself is of some interest as it is very much rooted in the vernacular, being of oak, with the principal rafters halved at the ridge, and the tie-beam itself below the level of the attic floor. The span of the roof is greater than would have been attempted in a vernacular dwelling, which before the mid 18th century were normally only one or one and a half rooms deep, but here the desire to create a double depth house must have posed something of a challenge to the joiner when roofing the building without the imported Baltic softwood which was available to later craftsmen. The structure of the roof truss is not fully visible, but has a sloping tie beam with angled struts running up to the feet of the principals, in an awkward manner. Within the attic the truss is infilled with riven lath and plaster to form a partition.

6 Conclusion and recommendations

- 6.1 The house at 29 Church Street forms part of a formerly larger property, the origins of which remain obscure, although the date of 1745 is a reliable indicator of when it was built. It seems to have formed a pair of houses internally, perhaps

intended for occupation by relatives who maintained separate households, and the character of the facade suggests it was not built as a public house, although it may have been adapted to one in later years, a scenario supported by the paucity of historical documentation in this respect. It may therefore have been the property of a modest local professional, merchant, or individual who derived their income from rents, for example, rather than a farmer or craftsman.

- 6.2 While the house's facade survives largely unaltered, the rear elevation (which was never afforded the same generous treatment) has suffered from alterations over the years, and the present single storey extension here is detrimental to the building's character, and means that the stair window is partly blocked, thereby restricting daylight to the stairs and entrance hall. Its removal or replacement by an improved arrangement would enhance not only the rear elevation but also the natural lighting within, and might allow the restoration of the damaged window to the rear of the original kitchen.
- 6.3 The interior of the house retains much of its early if not original plan, and has numerous fixtures and fittings of some quality which should be conserved. One area of concern which might be addressed, to enhance the historic character of the house, is the restoration of the wall dividing the original kitchen from the north front room. Another would be the re-opening up of the two stair windows to their original sizes, and the exposing of the upper part of the stair, where presently hidden by modern boarding.

The author would welcome any relevant additional information or notice of inaccuracy in this report.



Figure 1: Location maps

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Figure 2: Current site plan

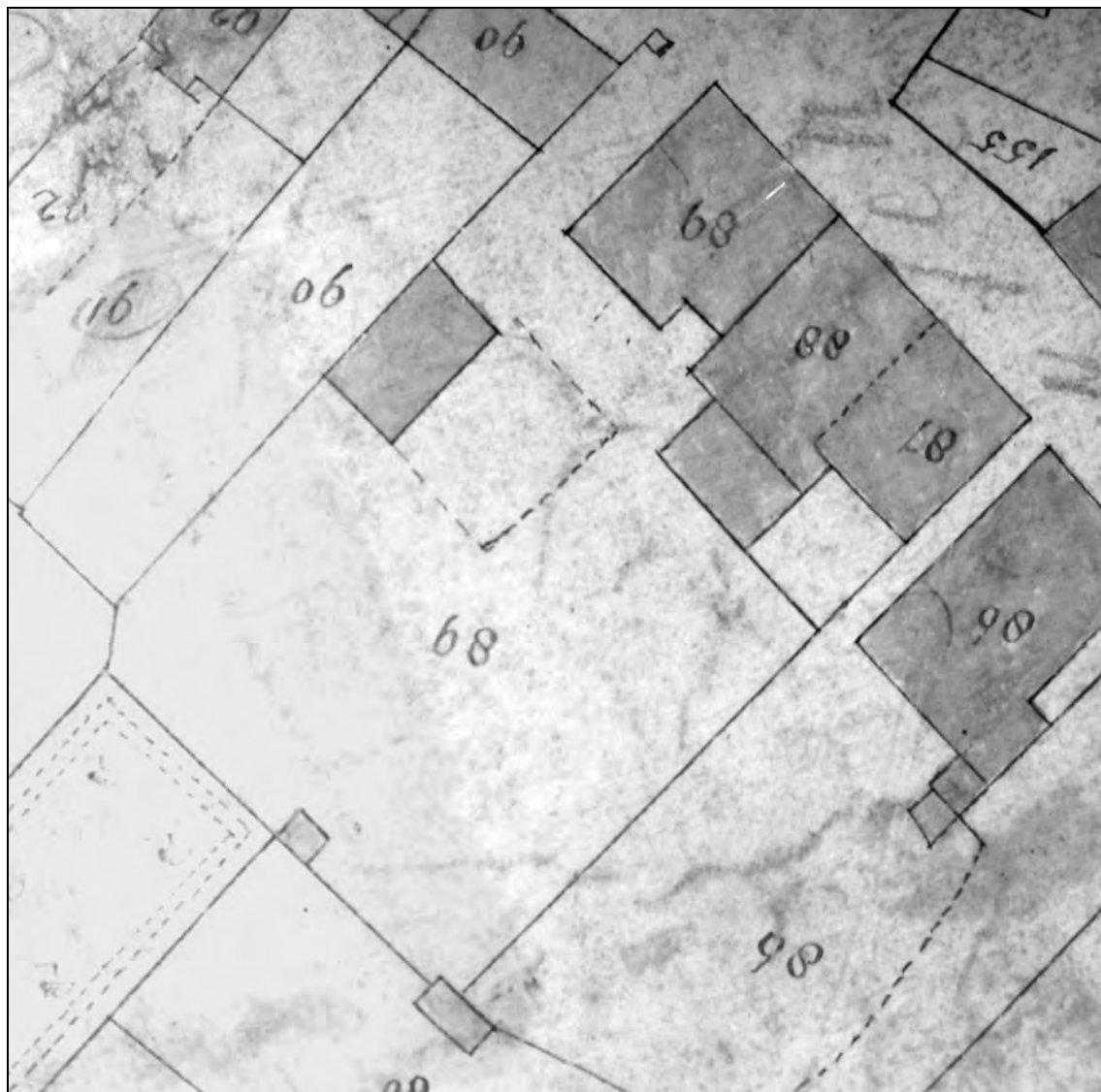


Figure 3: 1838 tithe map (rotated, so as to have north at the top – the numbers appear upside down)
(*A Plan of the Town of Ribchester in the County of Lancaster 1838 LRO PR2905/4/4*)



Figure 4: Photograph of the rear in the 1960s, showing the building which then adjoined the house, which was demolished shortly afterwards

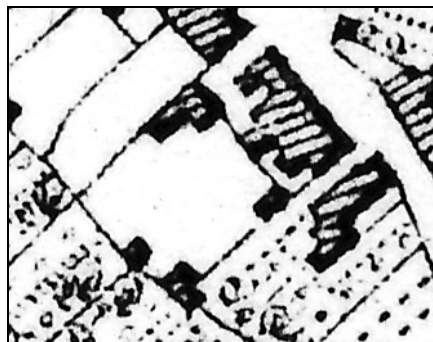


Figure 5: OS 6" to the mile map, surveyed 1844 (Lancashire, sheet 54, published 1847)
Here much enlarged, but the original scale is too small to allow accurate analysis



Figure 6: OS 1:2500 map, surveyed 1892 (Lancashire, sheet 54.14, published 1893)
Appears to show a larger building standing to the rear of the house

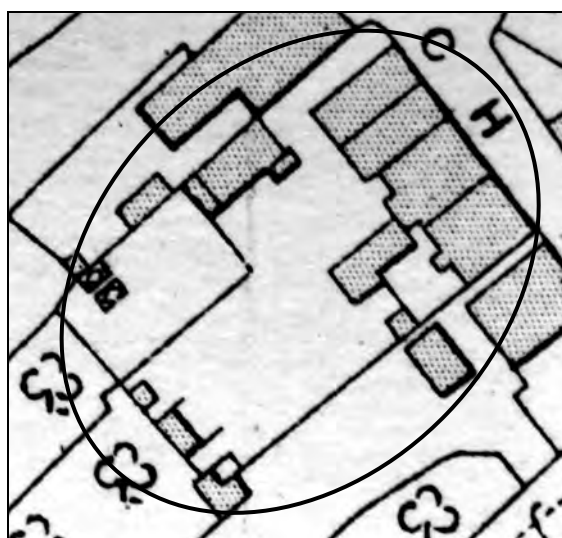


Figure 7: OS 1:2500 map, revised 1910 (Lancashire, sheet 54.14, published 1912)
Shows a similar arrangement

NB: maps not at original scales



Figure 8: OS 1:2500 map, revised 1930 (Lancashire, sheet 54.14, published 1932)
Shows a more simple arrangement, the finer detail probably omitted



Figure 9: OS 1:2500 map, revised 1967 (SD 6435/6535, published 1932)
Shows the large building close to the rear of the house to have been demolished



Front Elevation (North East)

Figure 10: Front elevation (IWA Architects)

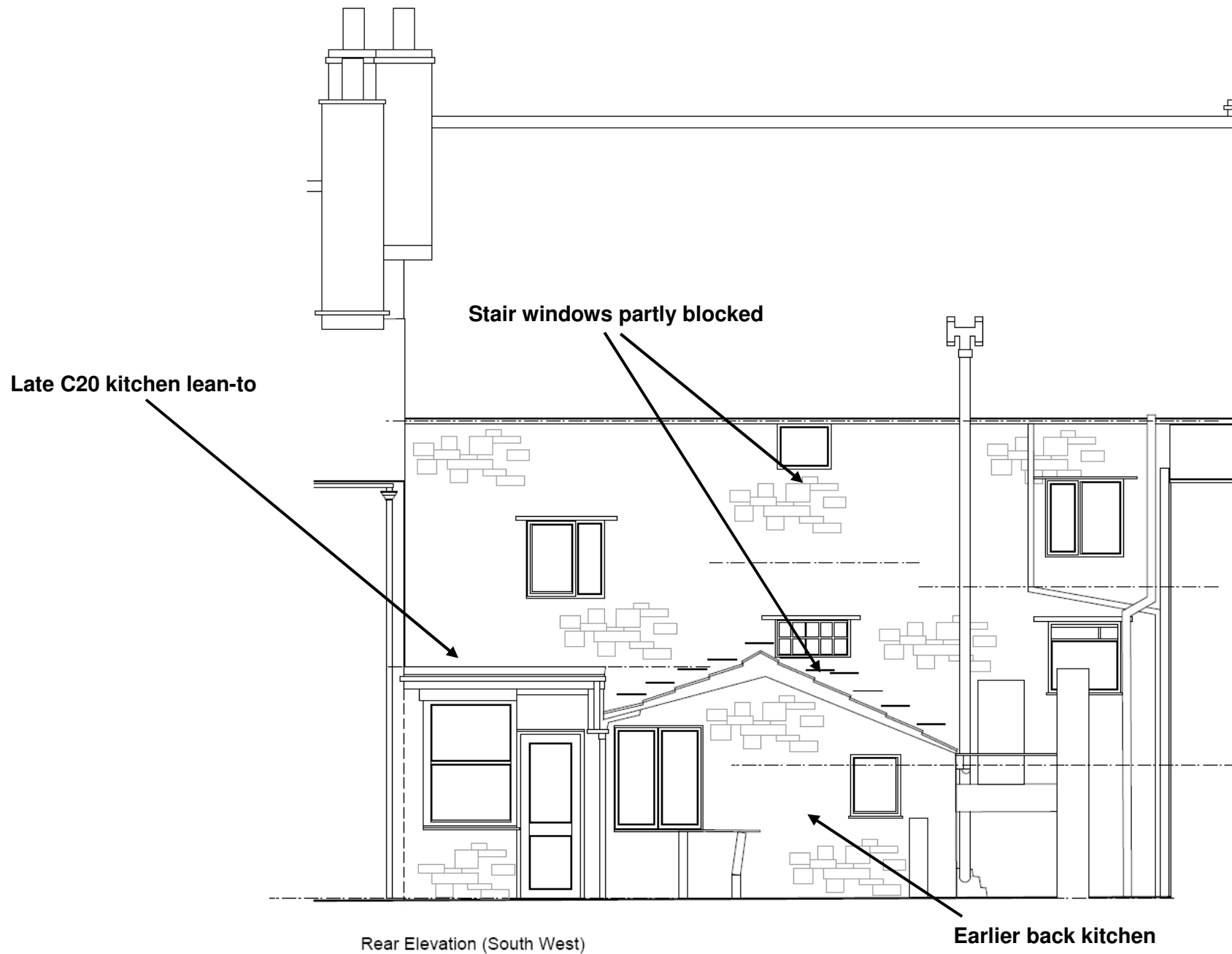


Figure 11: Rear elevation (IWA Architects)

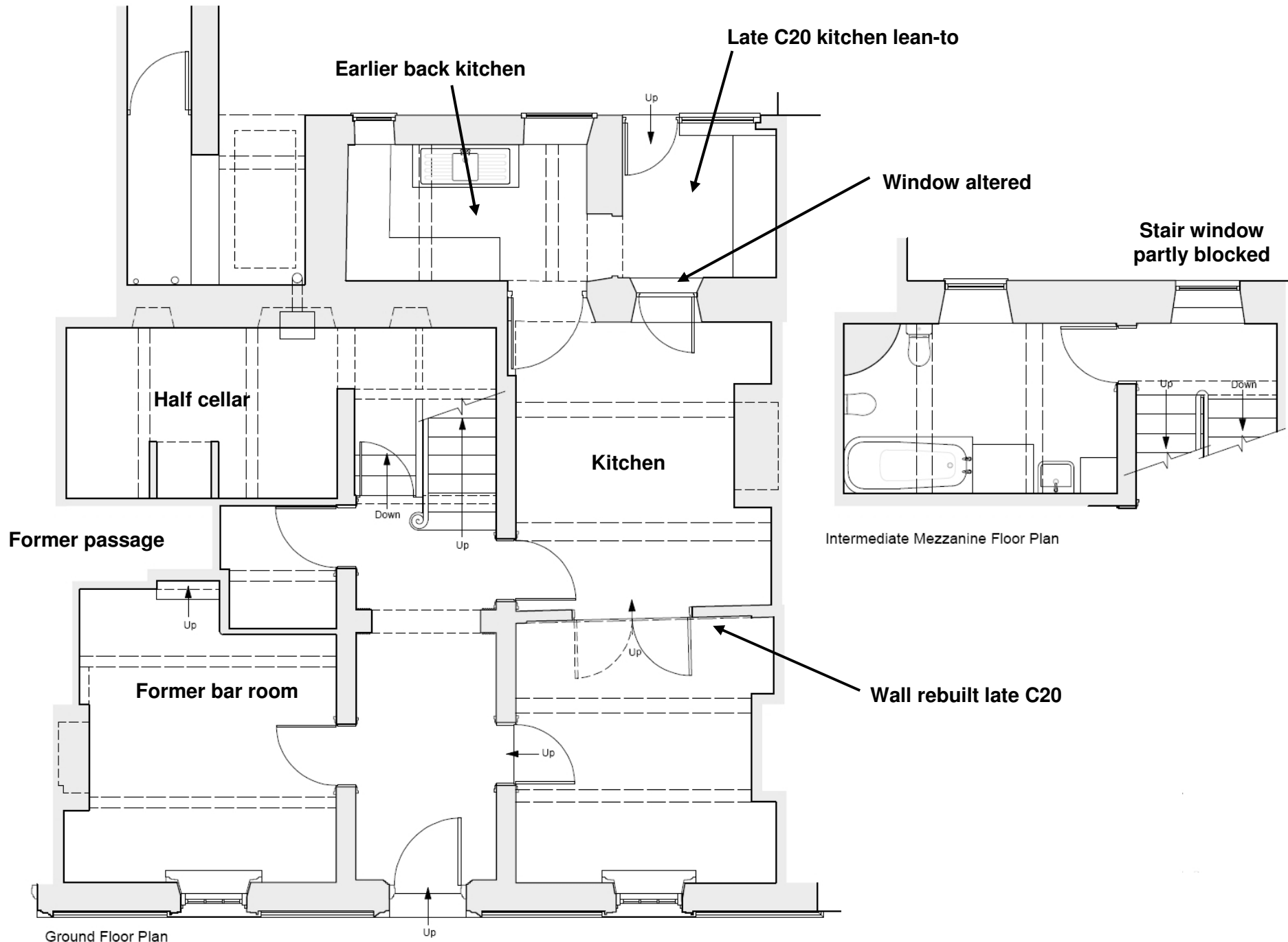


Figure 12: Ground floor plan (IWA Architects)

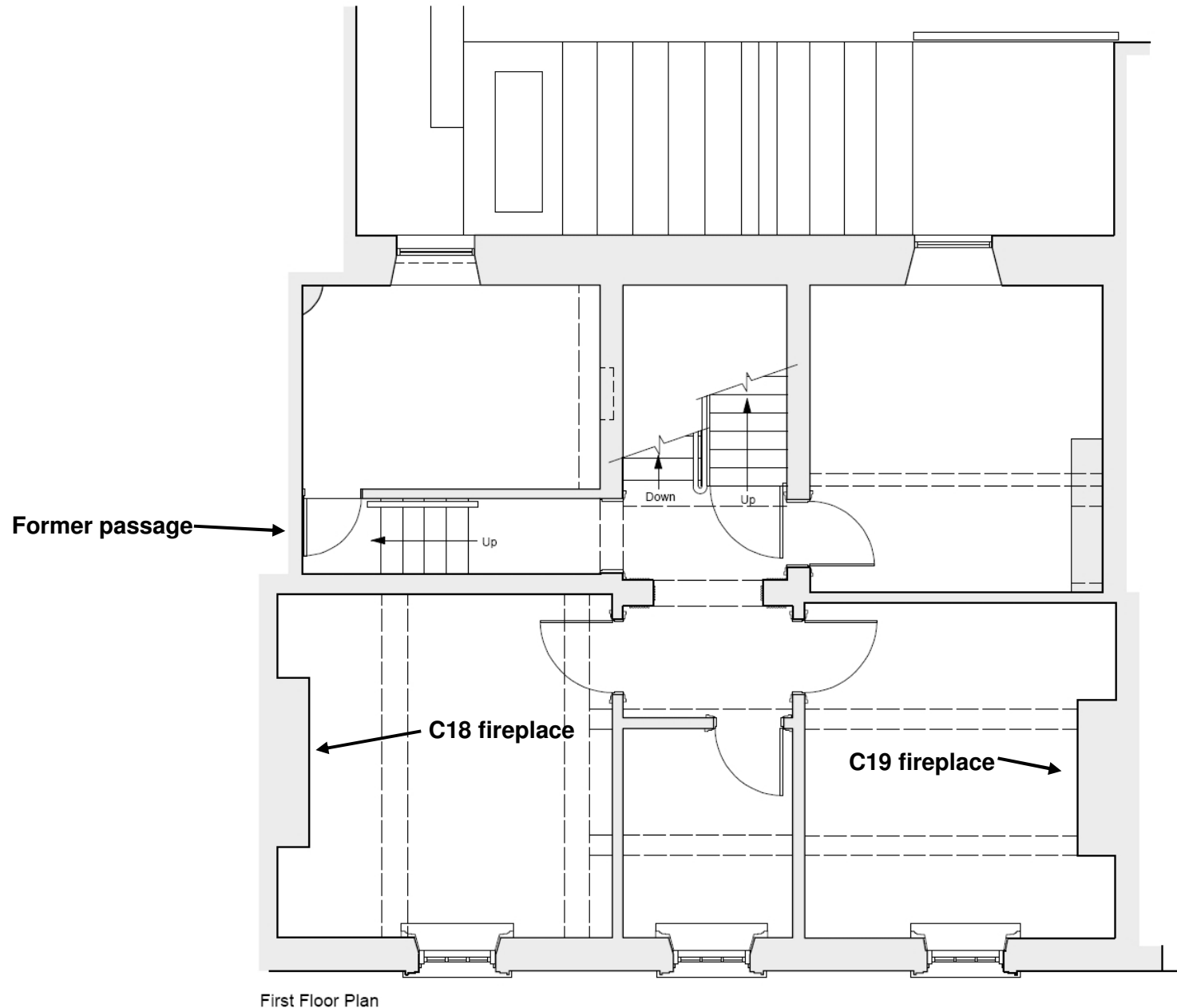
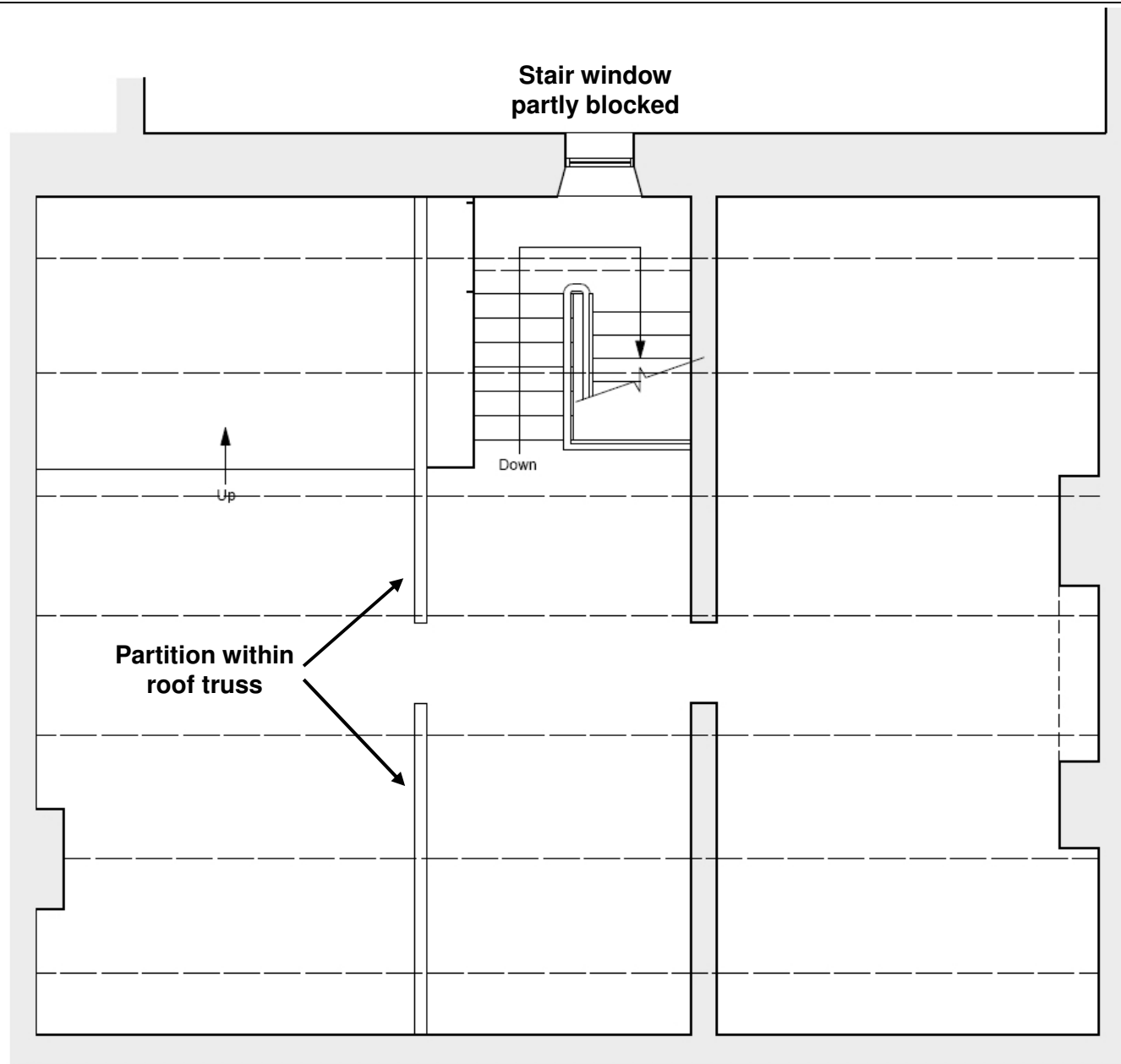


Figure 13: First floor plan (IWA Architects)



Second Floor Roofspace Plan

Figure 14: Second floor/attic plan (IWA Architects)



Photo 1: 29 Church Street, and no 28 at left



Photo 2: Front door to 29 Church Street



Photo 3: Rear of front door: note L-hinges

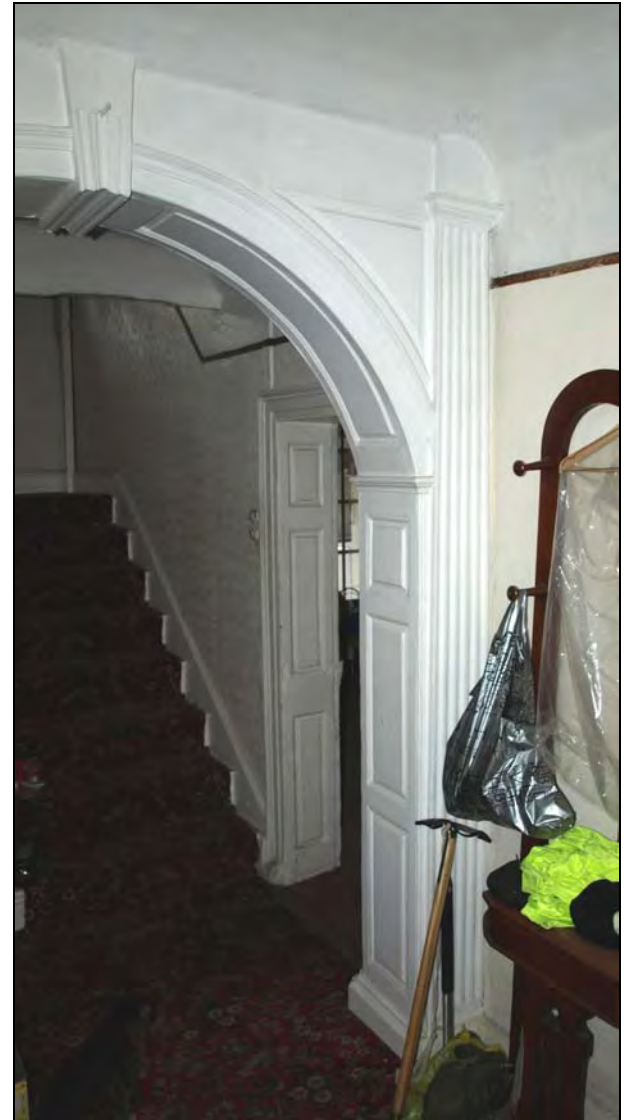


Photo 4: Moulded timber arch between entrance hall and stairs



Photo 5: Typical six panel door and architrave, raised and fielded panels

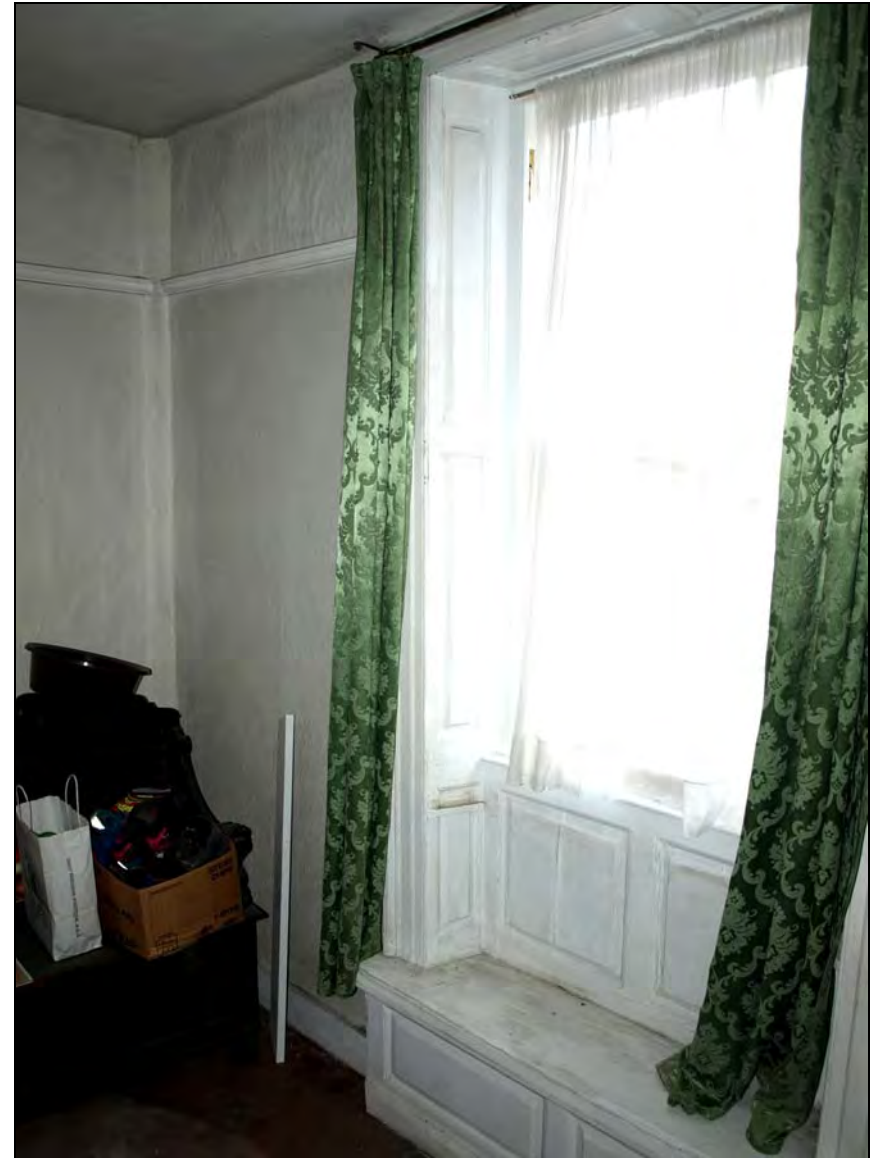


Photo 6: Ground floor window in front room with original panelling



Photo 7: Altered wall (at left) of north front room



Photo 8: Doorway to former passage to adjacent house, with fanlight over



Photo 9: Rear elevation



Photo 10: Back kitchen at foot of rear elevation: 19th century part under stone slate roof to right, 1980s addition under flat roof at left



Photo 11: Foot of stairs



Photo 12: Arch on first floor

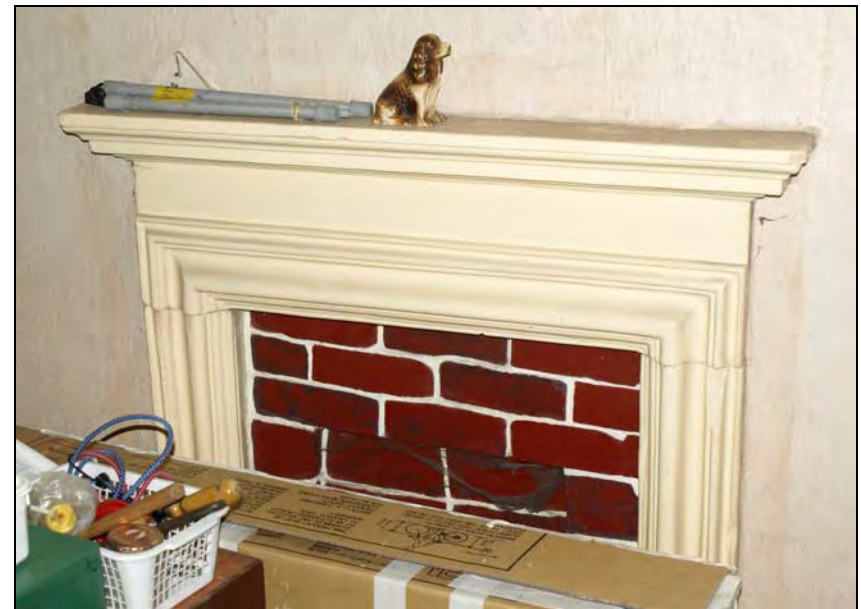


Photo 13: Original fireplace on first floor



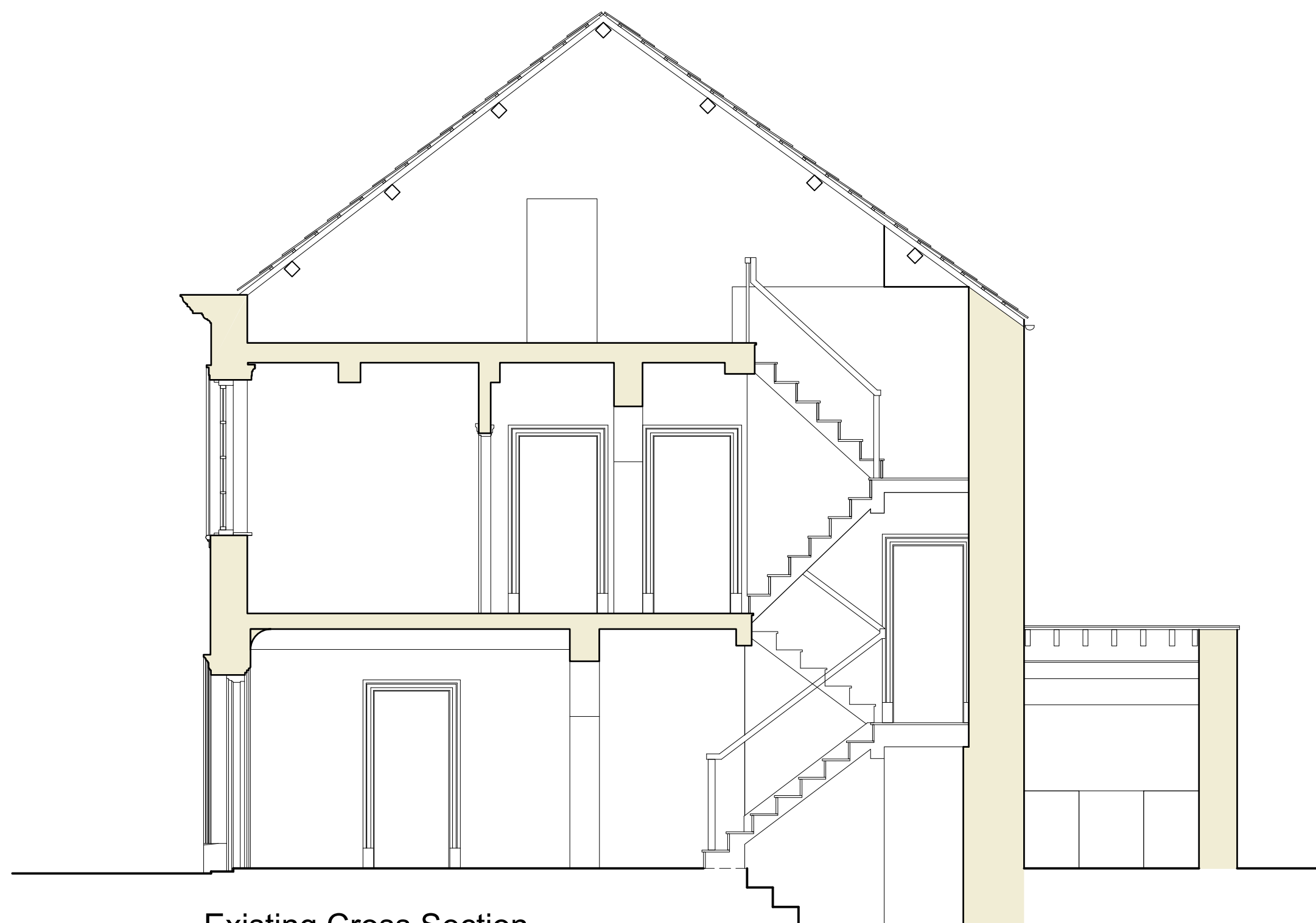
Photo 14: 19th century fireplace on first floor



Photo 15: Lower part of roof truss in attic, west side of house







Existing Cross Section

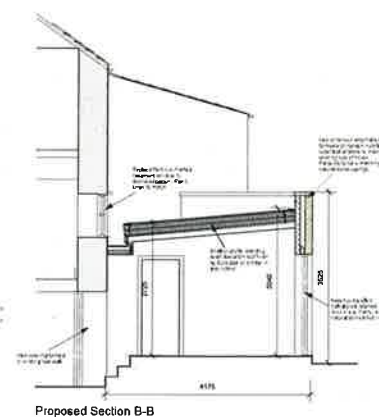
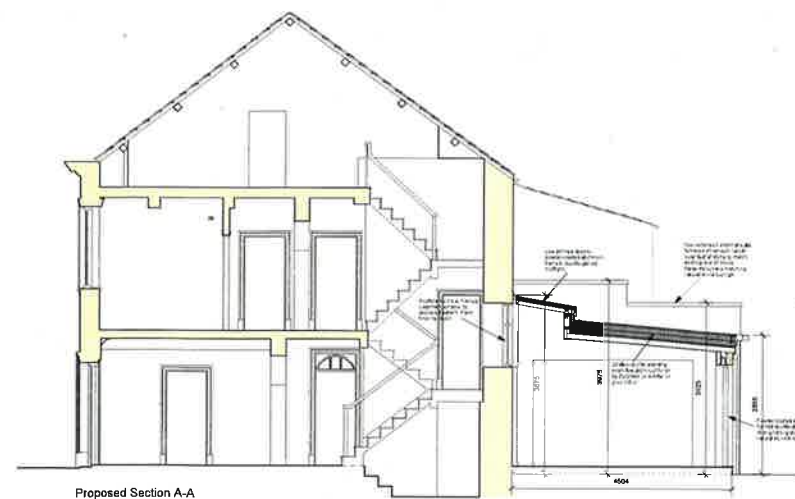
29 Church Street Ribchester	
Existing Cross Section	
Drwg. No.: 1621.P.007	Rev.: -
Date: Sept 09	Scale: 1:50@A3
IWA Architects <small>Waterloo Mill, Waterloo Road, Clitheroe, Lancs. BB7 1LR. Tel. 01200 423487. Fax. 01200 458278</small> <small>Email address : admin@iwarchitects.co.uk Website address : www.iwarchitects.co.uk</small>	

Layout and scale

The current proposal is designed to create better family spaces in the general living areas which as the house stands now seem functionally disconnected, dim and cramped. The existing extensions will be demolished to allow a more contemporary single storey extension to be built, with a shallow-pitched, standing seam metal roof that steps up and connects to the back of the main house with a lean-to glazed full width strip; the low roof retains the existing windows above. The overall construction will end up at a similar height to the existing outbuildings but will allow the window to the staircase at the first landing to be reinstated to it's original size, thus allowing more natural light into the hallway.

In terms of overlooking and overshadowing there will be no detrimental effect to neighbouring properties from the proposed extension.

The comparatively recent windows of the rear of the existing house, will be replaced with timber-framed ones that are more in keeping with the character of the building.



29 CHURCH STREET, RIBCHESTER

JANUARY 2010

IWA Architects

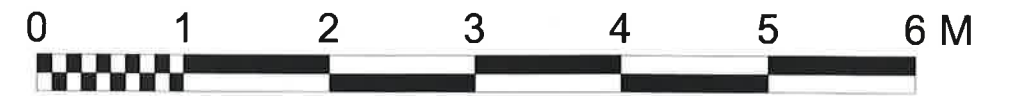
Waterloo Mill, Waterloo Road, Clitheroe, Lancashire, BB7 1LR.

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e: admin@iwarchitects.co.uk

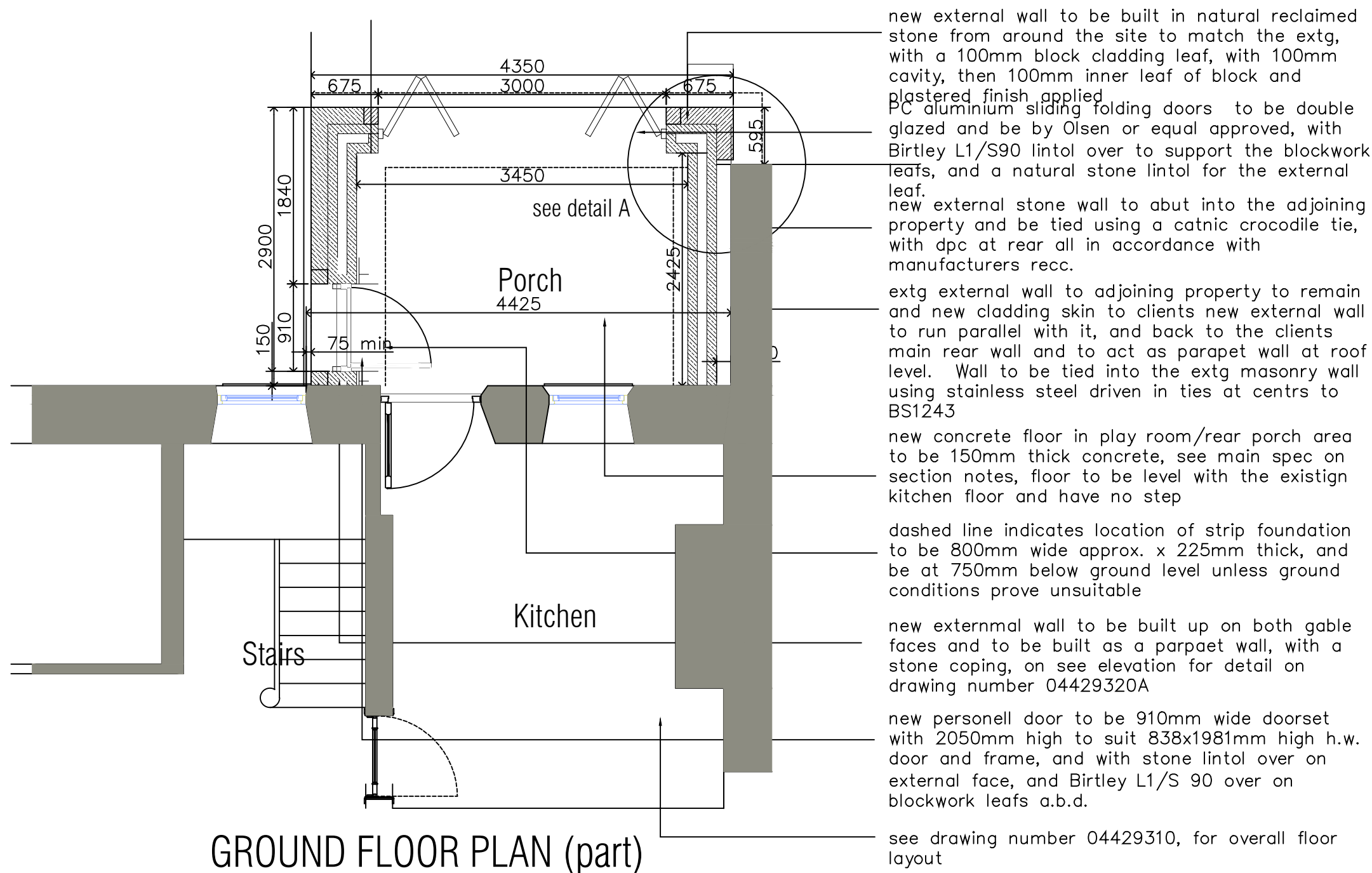
w: www.iwarchitects.co.uk



Rear Elevation (South West)

29 Church Street Ribchester	
Existing Rear Elevation (South West)	
Drwg. No.: 1621.P.006	Rev.: -
Date: Sept 09	Scale: 1:50@A3
IWA Architects <small>Waterloo Mill, Waterloo Road, Clitheroe, Lancs, BB7 1LR. Tel. 01200 423487. Fax. 01200 458278</small>	
<small>Email address : admin@iwarchitects.co.uk Website address : www.iwarchitects.co.uk</small>	

NOTES
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT.
ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO
PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON
SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.



A 02.10.15 wall abutment with neighbour amended and pillar sizes reduced

Rev.	Date	Description
------	------	-------------

A.L.H. Design Services
Barley Cottage, Brewery Street, Longridge, Lancs
PR3 3NB, Tel & Fax : (01772) 785719

Client

Mr T. Ives,
29 Church Street
Ribchester,
Nr Preston,
Lancs. PR3 3YE

Job/Scheme Title

SINGLE STOREY REAR EXTENSION

Drawing Title

PROPOSED GROUND FLOOR
PLAN

Job/Scheme Number	Drawing Number
-------------------	----------------

0 4 4 2 / 9 3 Drawing No 2 5 A

Scale	Date	Drawn	Checked
-------	------	-------	---------

1/50th Jan 15 a.t.l-h.

new external wall to be built in natural reclaimed stone from around the site to match the extg, with a 100mm block cladding leaf, with 100mm cavity, then 100mm inner leaf of block and plastered finish applied

patent glazing to run full width and length of extension between parapet walls, and mounted onto timber frame upstand at eaves in accordance with patent glazing manufacturers recommendations.

code 4 lead flashing at abutment of new roof and extg walls, and also new roof and parapet walls, all in accordance with LDA guide.

external wall built up to new eaves location, and then have a timber frameworkto support fascia above stone facingfixed to cladding leaf of blockwork.

extg external wall to adjoining property to remain and new cladding skin to clients new external wall to run parallel with it, and back to the clients main rear wall and to act as parapet wall at roof level. Wall to be tied into the extg masonry wall using stainless steel driven in ties at centres to BS1243

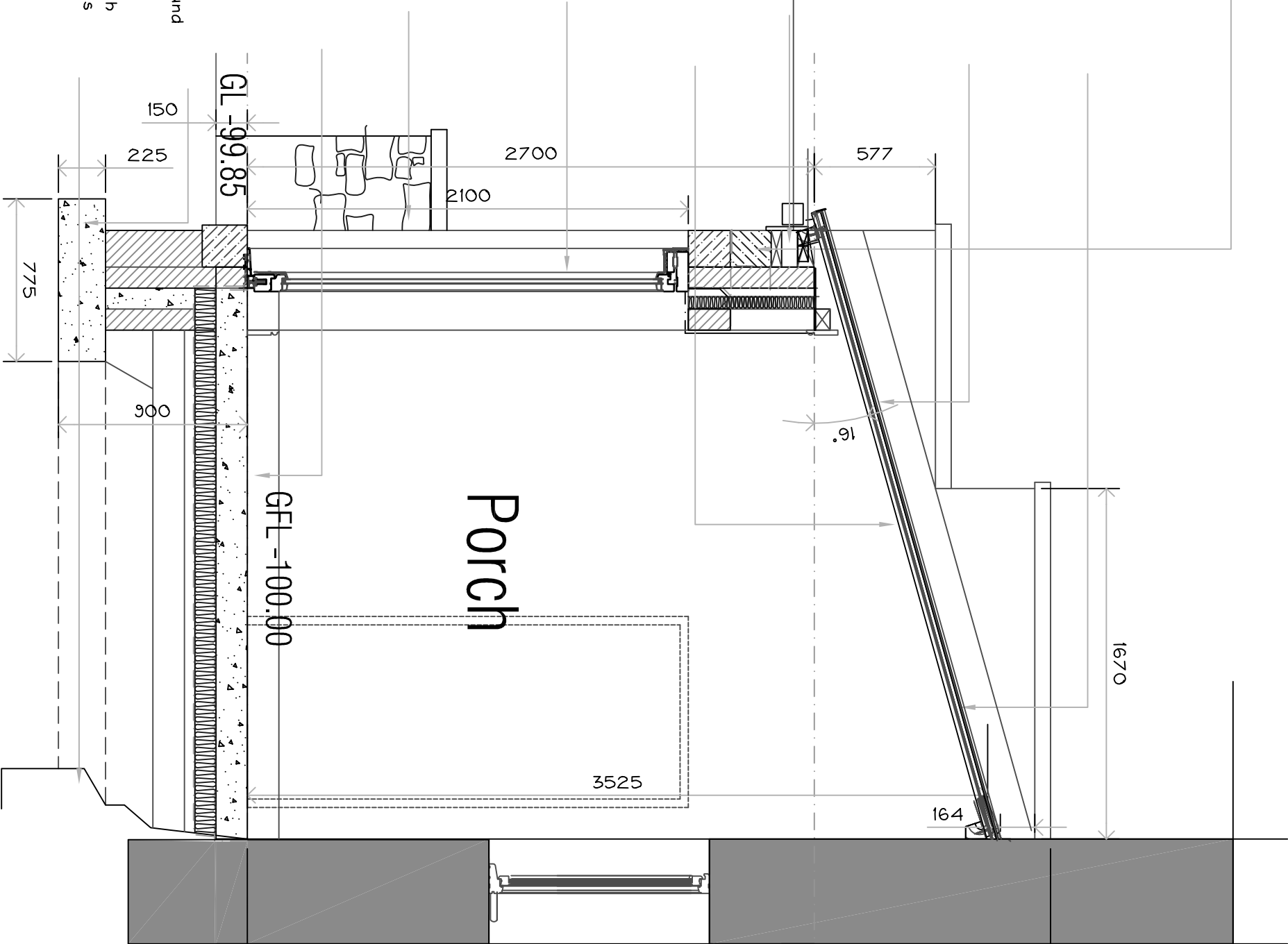
PC aluminium sliding folding doors to be double glazed and be by Olsen or equal approved, with Birtley L1/S30 lintol over to support the blockwork leaves, and a natural stone lintol for the external leaf.

new external stone wall to abut into the adjoining property and be tied using a catnic crocodile tie, with dpc at rear all in accordance with manufacturers recs.

new concrete floor in play room/rear porch area to be 150mm thick concrete, see main spec on section notes, floor to be level with the existign kitchen floor and have no step

strip foundation to be 800mm wide approx. x 225mm thick, and be at 750mm below ground level unless ground conditions prove unsuitable

carefully expose the extg spreader stobne to establish the exact depth of the extg foundation, and any drains running under the new floor are to be encased in a 150mm concrete surrond.



NOTES
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT.
ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO
PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANNING PERMISSIONS.
ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON
SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

FFL -102.70 approx.

A 11.02.15 roof amended to full glazing

Rev.	Date	Description
------	------	-------------

A.L.H. Design Services
29 Church Street, Longridge, Lancs
PR3 3NE, UK
Tel: 01772 785719
Fax: 01772 785719
Client: **Kitchen**

Mr T. Ives,
29 Church Street
Ribchester,
Nr Preston,
Lancs. PR3 3YE

Job/Scheme Title

SINGLE STOREY REAR EXTENSION

GFL -100.00

Drawing Title

PROPOSED SECTION

Job/Scheme Number		Drawing Number	
O 4 4 2 / 9 3		Drawing No 4 O A	
Scale	Date	Drawn	Checked
1/25th	Jan 15	a.t.l-h.	

SECTION THROUGH

RIBBLE VALLEY BOROUGH COUNCIL

Department of Development

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA

Telephone: 01200 425111

Fax: 01200 414488

Planning Fax: 01200 414487

Town and Country Planning Act 1990

LISTED BUILDING CONSENT

APPLICATION NO: 3/2014/0789

DECISION DATE: 11 December 2014

DATE RECEIVED: 04/09/2014

APPLICANT:

Mr Tom Ives
29 Church Street
Ribchester
Lancs
PR3 3YE

AGENT:

ALH Design Services
Barley Cottage
Brewery Street
Longridge
Preston
LANCS PR3 3NB

PARTICULARS OF PROPOSED WORKS: Erection of a single storey rear extension in lieu of previously approved extension 3/2010/0091.

AT: 29 Church Street Ribchester PR3 3YE

Ribble Valley Borough Council hereby give notice that **Listed Building Consent has been granted** for the execution of the works referred to above in accordance with the application and plans submitted subject to the following condition(s):

- 1 The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: Required to be imposed pursuant to Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 Precise specifications and samples of walling, roofing and door/window materials and details of any surface materials to be used including their colour and texture shall have been submitted to and approved by the Local Planning Authority before their use in the proposed works.

Reason: In order to safeguard the special architectural and historic interest, character, appearance, setting and significance of the listed building and Ribchester Conservation Area.

- 3 No works shall take place on the site until the applicant, or their agent or successors in title, has secured the implementation of a programme of archaeological work. This must be carried out in accordance with a written scheme of investigation, which shall first have been submitted to and agreed in writing by the Local Planning Authority.

Reason: The site is of archaeological importance and archaeological recording will be necessary during any ground disturbance associated with the development to a depth greater than 150mm to ensure that anything of archaeological importance may be adequately recorded as required by Policies G1, ENV14 and ENV15 of the Ribble Valley Districtwide Local Plan.

P.T.O.

Note(s)

- 1 For rights of appeal in respect of any condition(s)/or reason(s) attached to the permission see the attached notes.
- 2 The applicant is advised that should there be any deviation from the approved plan the Local Planning Authority must be informed. It is therefore vital that any future Building Regulation application must comply with the approved planning application.
- 3 The Local Planning Authority operates a pre-planning application advice service which applicants are encouraged to use. Whether or not this was used, the Local Planning Authority has endeavoured to work proactively and positively to resolve issues and considered the imposition of appropriate conditions and amendments to the application to deliver a sustainable form of development.

**JOHN HEAP
DIRECTOR OF COMMUNITY SERVICES**

DESIGN AND ACCESS STATEMENT



29 CHURCH STREET, RIBCHESTER

JANUARY 2010

IWA Architects

Waterloo Mill, Waterloo Road, Clitheroe, Lancashire, BB7 1LR.

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Introduction

29 Church Street is one of a pair of Grade II listed, 2 storey Georgian houses in the historic town of Ribchester. The house can be dated to 1745 from the embossed rainwater hoppers at each end. The front facade is constructed in brick with sandstone dressing and a slate roof.

The rear elevation is formed as random rubble and has an early 19th century stone flag, pitched roof kitchen outbuilding and a much later flat roofed infill lobby / back porch, both of which are in a poor state of repair. There is internal evidence that No. 28 and No. 29 may once have been connected or even a single property (local history suggests the property may once have been an unofficial public house or minor beer-house known as 'The King's Arms' which could account for the unusual internal layout).

Briefing - Design Development & Consultation

Ivan Wilson of IWA originally contacted Adrian Dowd (Design and Conservation Officer) at Ribble Valley Borough Council on 7th October 2009 by email to outline the brief for the scheme.

"1. Restoration and upgrading the existing house to contemporary living standards which will include essential repairs, appropriate timber treatment, damp proofing, new ground floor construction to add damp proofing and possibly under floor heating, insulation between floors, new services, new electrics, heating and hot and cold water services. The heating will include the possibility of underfloor heating, log burning stoves and consider ground source or air source heating. Improved plumbing and drainage, new bathrooms, new Kitchen.

2. Rear extension: consider design options / demolition options for the existing rear extensions and build a "Garden Room" extension to restore good daylight and sunlight into the main house and improving the access to the garden and probably connecting to the Kitchen wall of the main house. The connection needs roof glazing to allow for sufficient daylight and sun light into the kitchen.

3. External garden / site plan; general layout showing the proposed extension with car parking and access proposals.

The kitchen is the only usable rear room on the ground floor and is very dark and internal with no visual relationship to the large rear garden. One of the main problems is to improve this aspect of the dwelling to provide a contemporary kitchen and family living space which is attractive.

The client at our recommendation has commissioned Stephen Haigh to undertake a Historical assessment of the property. I will send this under separate cover in case the file size is too large."



29 CHURCH STREET, RIBCHESTER

JANUARY 2010

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Planning History & Policy, cont.

A meeting occurred on the 14th October 2009 after which Ivan Wilson reported back to the client:-

- Mr Dowd needed more time to study the Archaeologist's report on the priority for retention. It was pointed out that the client was very anxious to retain the architectural features and quality of the existing house.

Two points that Mr Dowd highlighted were:-

- 1. The underfloor heating idea which I said was not definite but was being considered. He expressed concern on archaeology and I could see that he did not want a modern dpm adding in with the usual build up. I did not really discuss this with him today as there was insufficient time. Alternatives could be considered – possibly a more traditional approach “lime beads” or lime crete. There can be more problems with this and it is very specialist. See this web link for Limecrete floor:
<http://www.lime.org.uk/products/limecrete-floor/>

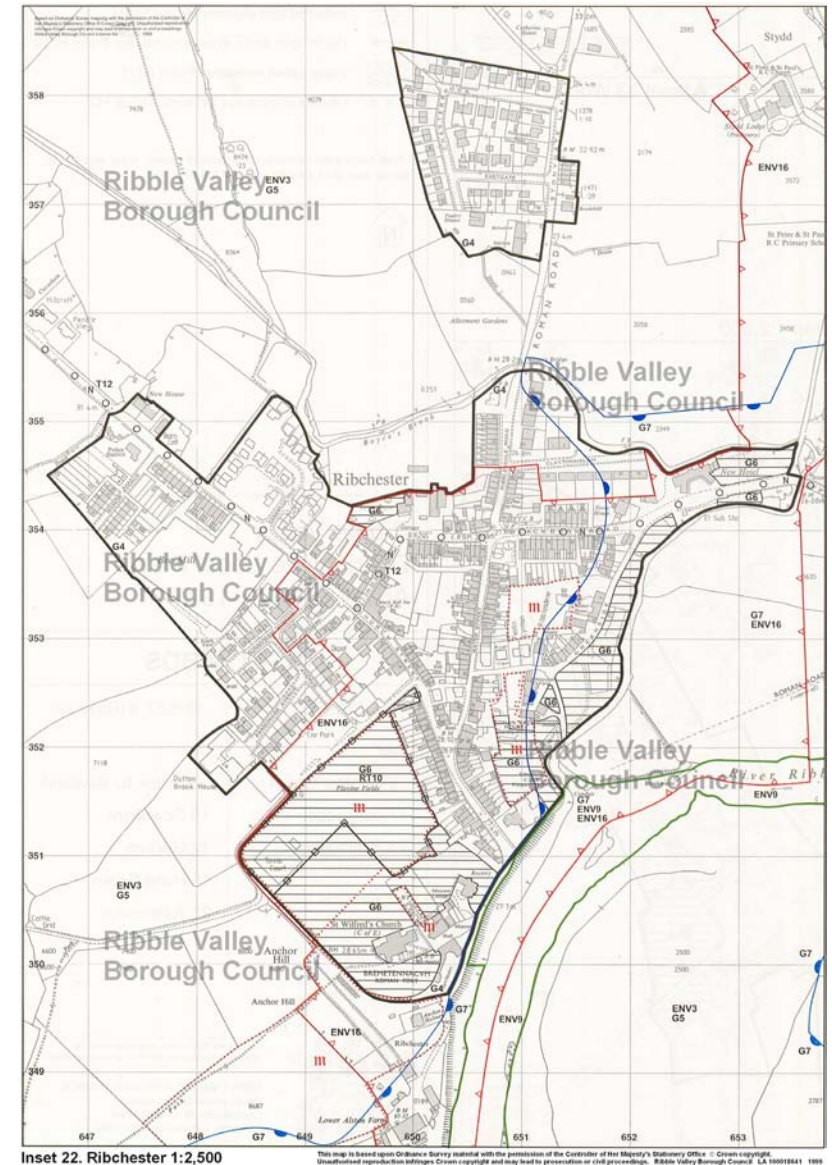
- 2. the garage and car parking - there was little comment, an archaeological watching brief would be needed here.

Further email correspondence has taken place between IWA and Mr Dowd but no additional comments have been made against the proposals, however, a follow up meeting is still to be arranged once Adrian Dowd has reviewed the material sent to him to date.

Planning History & Policy.

The Building is located in a conservation area noted in the Districtwide Local Plan as falling within the guidelines of Policy ENV16 which states:-

“Within conservation areas development will be strictly controlled to ensure that it reflects the character of the area in terms of scale, size, design and materials. Trees, important open spaces and natural features will also be protected as appropriate. The desirability of preserving or enhancing the character or appearance of a conservation area will also be a material consideration in deciding development proposals outside the designated area which would affect its setting or views into or out of the area.”



29 CHURCH STREET, RIBCHESTER

JANUARY 2010

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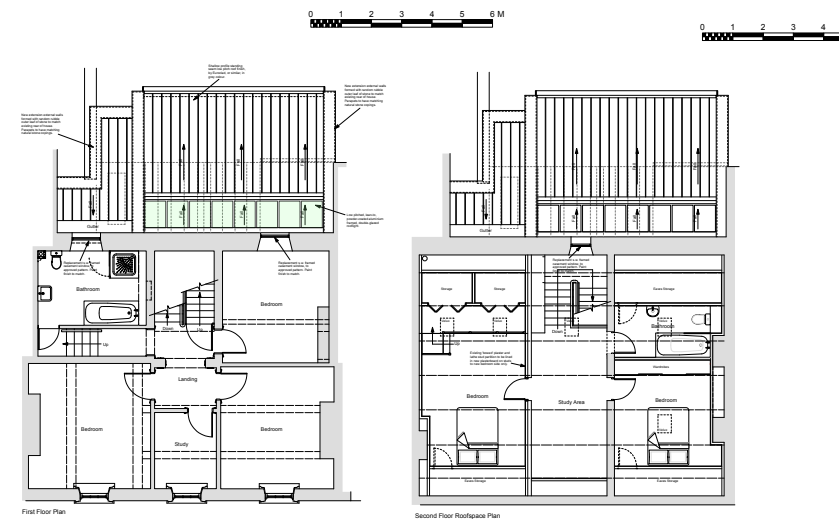
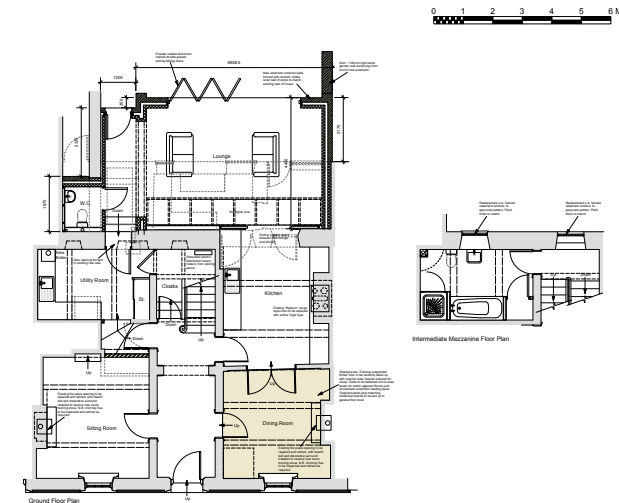
Usage

The building is in an historically important part of Ribchester, and though it is in fairly good condition, it *is* in need of some careful renovation and repair to prevent it fall into further decline.

Our client, Russell Milnes, lived in this house as a child and following his fathers death he wanted to make the house suitable as a family home for his family to move into. He is very fond of the character and architectural qualities of this Georgian town house and wishes to have it updated without spoiling any of this.

Amount

The proposals for the scheme are to demolish the existing small dilapidated and impractical outbuildings measuring approx. 15m² and rebuild a new single storey extension measuring approx 36m², providing a more usable family space whilst retaining the smaller proportioned internal rooms for use as more formal sitting and dining rooms and thus keeping the period character of the building. The balance of the works involve general repairs to the roof structure and the timber framed windows in the back elevation; stripping out of outdated wiring, fixtures and fittings and restoration of original features. The existing pantry, not thought by the archeologist to be original but rather an access through to No. 28, is to be altered to square off the adjacent front room and form a new way into the Utility Room being formed out of the existing semi-cellar workroom.



29 CHURCH STREET, RIBCHESTER

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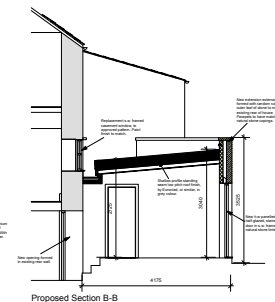
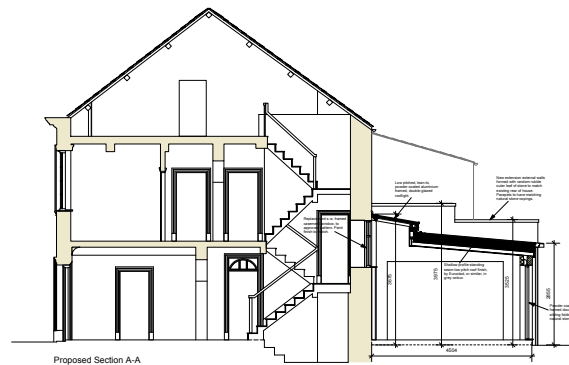
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Layout and scale

The current proposal is designed to create better family spaces in the general living areas which as the house stands now seem functionally disconnected, dim and cramped. The existing extensions will be demolished to allow a more contemporary single storey extension to be built, with a shallow-pitched, standing seam metal roof that steps up and connects to the back of the main house with a lean-to glazed full width strip; the low roof retains the existing windows above. The overall construction will end up at a similar height to the existing outbuildings but will allow the window to the staircase at the first landing to be reinstated to it's original size, thus allowing more natural light into the hallway.

In terms of overlooking and overshadowing there will be no detrimental effect to neighbouring properties from the proposed extension.

The comparatively recent windows of the rear of the existing house, will be replaced with timber-framed ones that are more in keeping with the character of the building.



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Materials and appearance

Proposed materials have been selected to respect and respond to the existing property and its setting.

New areas of walling are to be constructed in coursed stonework to compliment the existing - to all elevations. The roof will be finished with a low profile (25mm) metal standing seam roof in a slate grey finish and the windows will be timber framed with a paint finish to match elsewhere. The sliding / folding doors to the rear elevation will be colour coated aluminium frames to minimise the frame profile.

Generally detailing will also match the existing dwelling, including stone window/door heads, cills and jambs (though the stone surround to the rear are typically less extravagant compared to the front elevation).



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Access & Sustainability

The addition of the new extension will provide a more usable living space with better flow through the kitchen to the other rooms, creating a more practical space to occupy. The large door openings to the garden room, together with the proposed minor internal alterations will create a clear and level point of access into the house and outside into the garden.

In terms of the actual extension, the proposed works will help to make the development a more sustainable proposal for other future residents, especially families with children. This would not be as successful with the current level of accommodation.

In terms of the environmental impact of the proposals, the new construction will be designed to exceed current building regulations in terms of heat loss and air tightness. In addition the replacement of windows to the rear of the existing building will also contribute to this target. It is also my understanding that as part of the scheme, the applicants will be looking to upgrade their existing boiler.

The scheme will have no detrimental impact on the surrounding trees or planting on the site, as none fall within the area of construction.

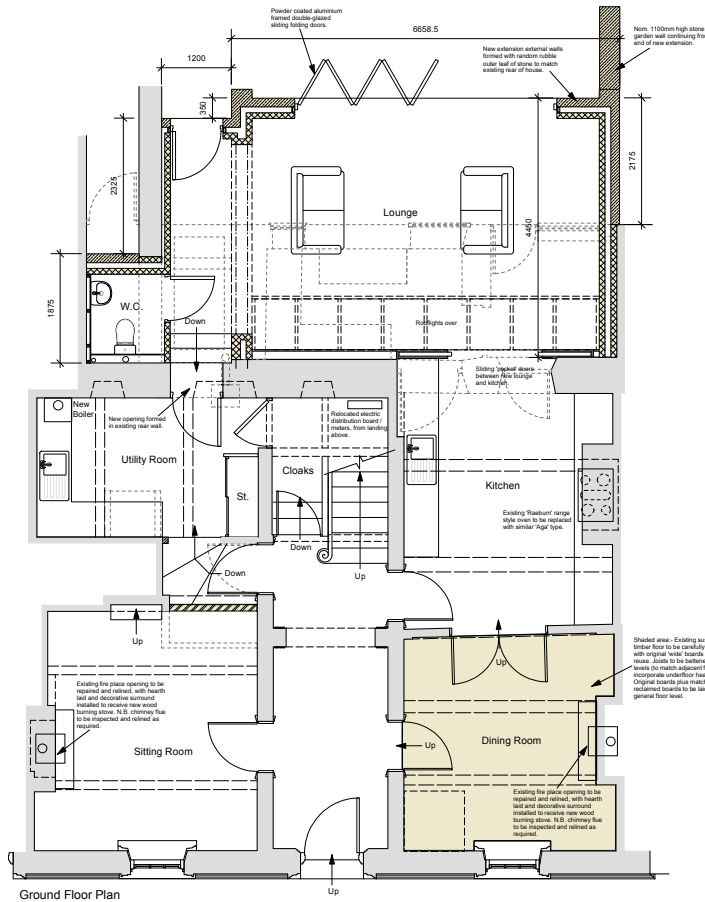
Landscaping

The landscaping design is an integral part of the scheme, knitting the proposals into the landscape. A terrace will be added to the rear of the house which will be hidden behind the existing high neighbouring garden wall and the house itself.

Crime Prevention

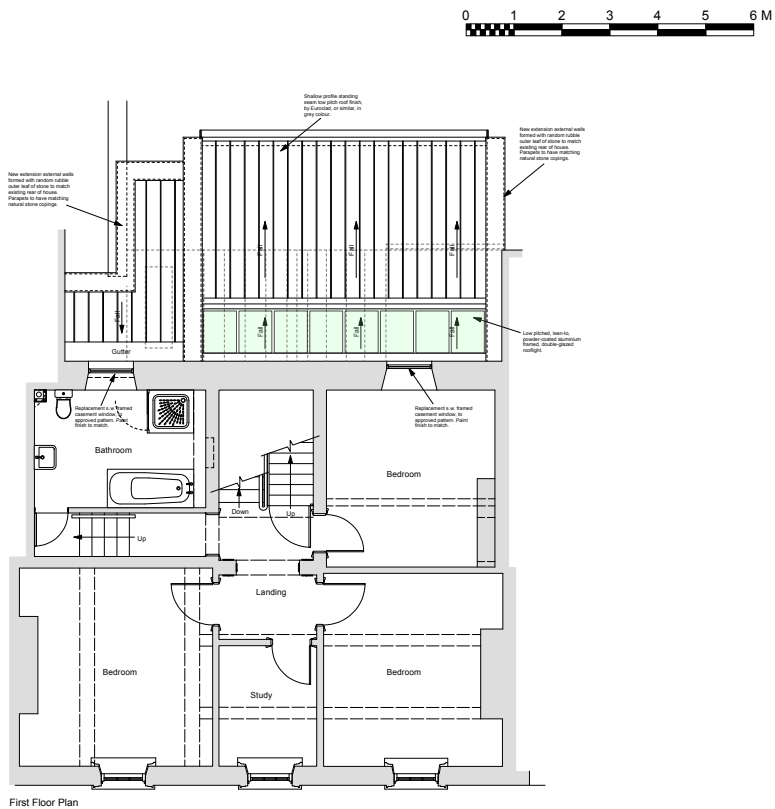
As this is an extension, limited improvements are achievable, although the reinstatement of the property and a habitable dwelling will leave it less vulnerable.





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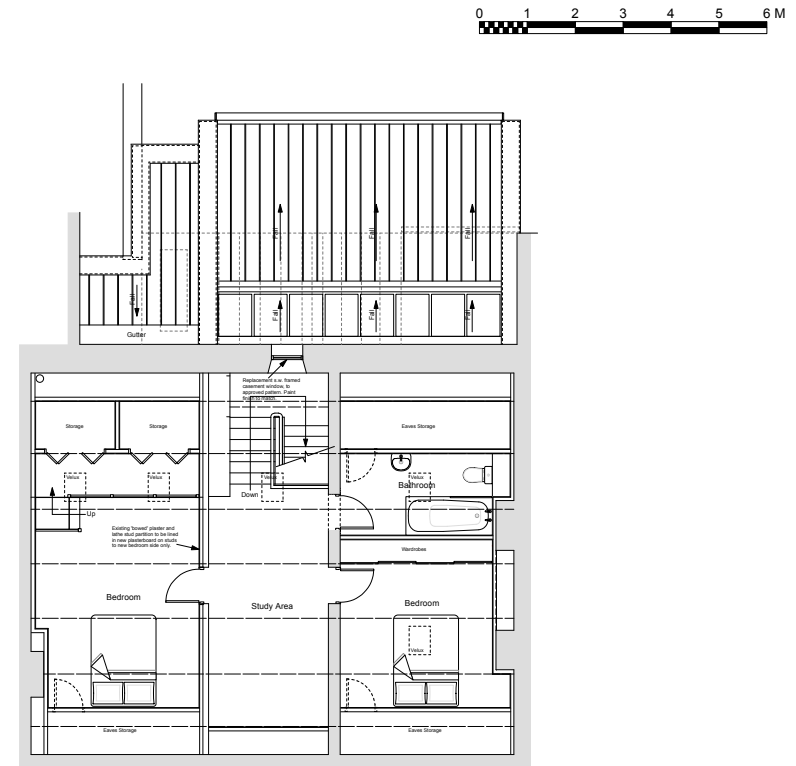


First Floor Plan

29 Church Street
Ribchester

Proposed First Floor Plan

Drawn No.: 1621.PR.002	Rev.: -
Date: Nov 09	Scale: 1:50@A2
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Second Floor Roofspace Plan

29 Church Street
Ribchester

Proposed Second Floor Plan

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Front Elevation (North East)

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Ribchester

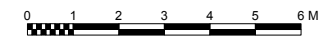
Proposed Front Elevation
(North East)

Drawg No: 1621.PR.004 Rev: -

Date: Nov 09 Scale: 1:50@A2

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Rear Elevation (South West)

29 Church Street
Ribchester

Proposed Rear Elevation
(South West)

Drawg No: 1621.PR.005 Rev: -

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