

**OUR LADY AND ST MICHAEL'S RC PARISH
PRESTON ROAD
ALSTON
LONGRIDGE
LANCASHIRE
PR3 3BJ**

STRATEGIC PLAN

CANON H DOYLE



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STRATEGIC PLAN

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1.00.00 INTRODUCTION

1.01.00 Our Lady and St Michael's RC Church is commonly referred to as the Parish of Alston Lane which it will be referred to throughout the Strategic Plan.

1.02.00 The latest available data on Catholic Church attendance nationally has shown a decline in mass attendance of approximately 30% between 1993 and 2010. The declining trend continues.

In contrast, Mass attendance at Alston Lane RC Church has been stable over recent years with an average weekly attendance of 407 (December 2014).

1.03.00 Given the national decline in Catholic Church attendance, which is anticipated to continue, Lancaster RC Diocese is undertaking a 'Fit for Mission' review, the aim of which is to strengthen the sacramental and missionary life of the Diocese so that this and future generations can have a rich and living encounter with Christ.

This strategy on the financial future of the Parish is prepared solely to ensure that the Parish is able to continue to provide sacramental and pastoral care to parishioners. The strategy does not consider pastoral elements of the 'Fit for Mission' review.

1.04.00 Canon Doyle has identified within the 'Fit for Mission' review the need to prepare a strategy to ensure future financial stability of the Parish to take into consideration:-

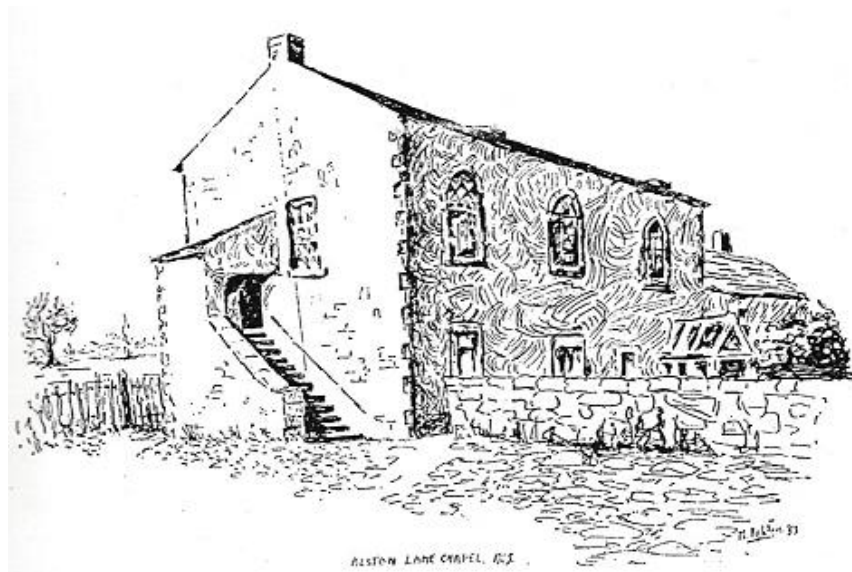
- Future mass attendance;
- Increased cost of maintaining Church / Presbytery with age;
- Under Charity Commissions, the need incumbent upon the Diocese to fully utilise all assets / resources for the benefit of the Church.

1.05.00 Canon Doyle has established a Working Group which includes the following Parishioners:-

Canon Doyle
Michael Monks
Patrick Kiernan
Ged Heaney
John Morianty
Michael McKeivitt

The Working Group has met on a regular basis to consider options and this Strategic Plan contains its recommendations to the Parish.

2.00.00 ALSTON LANE CHURCH



2.01.00 The parish of Alston Lane was founded in 1761 with the appointment of Mr Thomas Caton, (the term Parish Priest was not used until 1918). Land bordering Preston Road, about four and a half acres was acquired and in 1765 the first Catholic Church in this area since the Reformation was built. *"It was as inconspicuous as possible, set well back from the Preston-Longridge road, down a small lane - hence the name by which it has always been known...Alston Lane. In appearance it was nothing but a farmstead, the Chapel being a plain barn, up stone steps outside the building"*. The ground floor of this building was used as a school and the presbytery was attached. Apparently there is still evidence of a doorway which joined the presbytery to the church.

2.02.00 This chapel became too small to accommodate the growing Catholic population of the district and in 1855 a new church was designed by the architect Joseph Hansom of J & C Hansom (whose other works include Birmingham Town Hall and St Walburge's, Preston and the Hansom Cab!) The new church was erected by subscription at a cost of £2,000, the cornerstone being laid in 1856 and it now stands 150yds north of the building it replaced. The church is said to accommodate 400 persons.



- 2.03.00 The present Presbytery was added in 1876 at which time the school took over all of the original church buildings.



- 2.04.00 The stained glass windows were erected in memory of Fr Walton, Parish Priest from 1874 -1897, in 1898 at a cost of £260. These were designed and erected by John Hardman Trading Co. Ltd who were one of the world's leading manufacturers of stained glass windows and ecclesiastical fittings.
- 2.05.00 The present church organ was bought from a disused Nonconformist Chapel in Oldham in 1952 and installed at a cost of £1,050.
- 2.06.00 The Roman Catholic Parish of Our Lady and Saint Michael, Alston Lane has a catholic population of 1,526 and an average weekly mass attendance of 407 (December 2014 statistics).
- 2.07.0 In recent years the need has arisen for a room for parish activities. The Caton Room was built and named as a mark of respect to the priest who founded the parish in 1761. As well as serving the various parish groups the Caton Room is used by two local choirs, a model shipwrights group, The Grimsargh Players dramatics society, the WI, the Suffolk sheep breeders association and the Goosnargh and Longridge Show committee.
- 2.08.00 The cemetery of Alston Lane Church has expanded over the years into the surrounding Parish property. It is well frequented by relatives and friends of those interred there and the paths, hedges and graves are constantly maintained in neat order. A toilet is available for visitors (and is known to passing cyclists and walkers!).



- 2.09.00 A new Alston Lane School was opened on 1st February 1927, replacing that in the old church buildings, and this consisted of two classrooms, a staff room, two cloakrooms and outdoor toilets. Several phases of expansion have taken place over the years and now in 2015 the school is fully subscribed for the next few years and comprises a primary school with a Reception and 6 year group classes catering for 193 local, mainly, but not exclusively, Catholic children and has an attached pre-school Nursery.
- 2.10.00 The school premises are used by a number of local groups including a judo club and the Grimsargh Brownies, with the Grimsargh Scout groups (Beavers, Cubs, Scouts and Explorers) sharing the Nursery school premises.
- 2.11.00 The church has a tarmacadam car park which can accommodate approximately 70 cars; adjacent to both the church and the school this provides parking for the school, the church, the cemetery and those using the social facilities.

3.00.00 PARISH

3.01.00 Pastoral

3.01.01 Canon H Doyle has fulfilled the role of Parish Priest for the last 34 years. As well as caring for the Pastoral needs of the Parish. He also acts as:-

- Diocesan Property Committee
- Longridge and Goosnargh Agricultural Show Committee – Member (former President)
- Governor at Alston Lane RC Primary and St Cecilia's RC High School
- Trustee of the Diocese

3.01.02 He is also supported by Parishioners in:-

- Finance Committee
- Social Committee
- Buildings Committee
- Eucharistic Ministers
- Altar Servers

3.01.03 The Parish is very active and has the following groups:-

- Children's Liturgy
- Flower Arrangers
- Choir
- Third World Group
- Preparation for the Sacraments

3.01.04 The Parish of Alston Lane covers a mixed residential / rural area as shown on the attached Plan in Appendix A.

3.01.05 Mass services are as follows:-

Sunday	- (Vigil 7.00pm)	8.30am, 10.30am
Holy Days	- (Vigil 7.00pm)	7.30am, 9.00am, 7.30pm
Weekdays	- (Mon, Tues, Sat)	8.00am
	- (Weds, Fri)	7.30pm
	- (Thursday)	9.00am

3.02.00 Buildings

3.02.01 Canon Doyle is responsible for the management and maintenance of the following Parish buildings:-

- Church / Presbytery – Grade II Listed
- Graveyard
- Chapel House / 1 & 2 School House – Rental Residential Accommodation
- 301 and 303 Preston Road – Rental Residential Accommodation
- Rental properties are let on below market rates as social housing

3.03.00 Education

3.03.01 An integral part of the parish is Alston Lane RC Primary School which is owned / partially funded by Lancaster RC Diocese.

3.03.02 Alston Lane RC is also a feeder parish to and is closely involved with the running of St Cecilia's RC High School, Longridge.

3.04.00 Community

3.04.01 Alston Lane RC is an integral part of the Local Community with the following organisations using Parish facilities on a regular basis:-

- Grimsargh Beavers / Cubs / Scouts
- Women's Institute
- Grimsargh Players
- Model Shipwrights
- Lady Farmers
- Goosnargh and Longridge Show Committee

4.00.00 CURRENT FINANCIAL REPORT

4.01.00 Included within Appendix B is the Income / Expenditure Summary Report from 07/08 to 14/15.

4.02.00 This Financial Analysis reports that the Parish is currently just able to meet its financial expenditure commitments with current levels of income. In 2014/15, total income is in the sum of £80,387 against expenditure of £73,477.00. The bank balance at the end of 14/15 is in the sum of £23,269 which constitutes Parish Reserves.

It is considered that the small surplus achieved whilst beneficial will be insufficient to offset both anticipated reductions in income and increases in forecast expenditure.

4.03.00 Lancaster RC Diocese to which Alston Lane RC Church is part, is facing considerable difficulties in changing how it provides its mission to catholic communities given the fall in income, changes in Catholic populations and increased cost of maintaining its churches and educational premises.

At present, Alston Lane RC Church is a financial contributor to the Diocese at £12,567 pa.

4.04.00 Given limited resources and anticipated levels of income, the Parish has to consider the levels of future expenditure over the longer term, next 20 years, and to identify means by which they can be provided for.

5.00.00 FORECAST FINANCIAL COMMITMENTS

5.01.00 Current Income / Expenditure

5.01.01 The levels of expenditure have been reasonably stable over period 2007 to 2015 as detailed in Income / Expenditure Reports in Appendix B. The fluctuations in expenditure have been mainly attributable to major items of repair to Buildings. For the last reported Financial Year 2014/15 there is a surplus of £23,269.00.

5.01.02 It is considered that expenditure will remain constant over next 20 years, excluding property maintenance, with allowances for inflation etc.

5.02.00 Church / Presbytery / Graveyard

5.02.01 The cost of property maintenance is a major commitment particularly given the age of Church which was constructed in 1856, and that it is listed as being Grade II Special Architectural and Historical Interest by English Heritage.

5.02.02 Given levels of expenditure over recent years, a Condition Report has been commissioned from JYM Partnership, Diocesan Architects and Surveyors. The Condition Report is included in Appendix C. The Condition Report advises that the Church is currently in good condition having benefited from major recent remedial works. It was however identified that major expenditure must be anticipated over the next 20 years to the total value of £321,167.00 if it is to remain in good condition.

5.03.00 Residential Properties Currently Let

5.03.01 The Parish owns a number of residential properties as follows:-

- Chapel House – In need of Refurbishment
- 1 and 2 School House – Refurbished recently and in excellent condition
- 301 and 303 Preston Road – In very good condition

5.03.02 Chapel House / 1 and 2 School House was the original Church / Presbytery and was constructed in 1765, the first Catholic Church built in the area since the Reformation.

Chapel House is currently let but will be in need of refurbishment when the current Tenant vacates. Upon vacation, a full Condition Survey will be undertaken.

1 & 2 School House are recently refurbished and in excellent condition.

5.03.03 301 and 303 Preston Road are in good condition with no major expenditure anticipated other than that already included in normal running costs.

5.04.00 Alston Lane RC Primary School

5.04.01 Alston Lane RC School is owned by the Diocese and is run as a Voluntary Aided School. The operation and maintenance costs of the school are as such met by Lancashire County Council. However, any major alterations / maintenance improvements or extensions are partially funded by the Diocese or Parish. Currently any major works, if approved, are funded 90% by LEA using LCVAP approval procedure, 10% is paid for by the Diocese / Parish.

5.04.02 There is a significant extent of new residential development in the immediate Grimsargh / Longridge area which is considered will lead to increased numbers of pupils applying for places at the school.

- 5.04.03 It is envisaged that there may therefore be sufficient demand to necessitate the construction of an additional classroom / teaching area.
- 5.04.04 An Outline Scheme design / budget cost has been prepared in the sum of £286,582.95 as included in Appendix E. The Diocesan contribution at 10% will be in the sum of £28,600 approx. It is uncertain at this time whether the Diocese would be able to fund this commitment without Parish contribution.
- 5.04.05 At this stage, it is considered that the additional classroom may be required within the next 10 years.
- 5.05.00 Forecast Income / Expenditure
- 5.05.01 Included in Appendix B is the Projected Income / Expenditure Forecast for the next 20 years to 2035 which takes into account anticipated financial commitments previously identified.
- 5.05.02 The forecast assumes the following:-
- Income for the Parish remains constant with 1.5% inflation per annum.
 - Pastoral / Running Costs remain constant with 1.5% inflation per annum.
 - Forecast essential repairs to Church and existing rented properties are included.
 - No allowance included for any contribution to School Extension
- 5.05.03 The forecast details that given the major levels of forecast expenditure the Parish would run at a deficit throughout the next 20 years. A forecast deficit increasing to -£239,911.00 is reported by 2035. As such, the Parish would be unable to meet its forecast commitments.
- 5.05.04 Options for other sources of income need to be considered which will enable the Parish to meet its long term commitments.
- 5.05.05 Initial consideration to be given to full utilisation of current property assets.

6.00.00 OPTIONS FOR FUTURE

6.01.00 Sale of Land

6.01.01 The parish owns playing fields to side of Alston Lane RC Primary School which need to be retained for continued educational use.

6.01.02 The parish owns fields adjacent to Cemetery and up to Chapel House.

The field immediately adjacent to Cemetery is to be retained for cemetery extension etc. Fees from the cemetery is a major source of income for the Parish.

However, there is an area of grounds / gardens known as the Orchard to the other side of the access drive which is considered suitable for sale. It is however noted that if sold for agricultural use, its value would be minimal.

6.02.00 Sale of Residential Properties currently let

6.02.01 Chapel House / 1 & 2 School House

Given historical importance of Chapel House / 1 & 2 School House, its sale would be the least preferred option for the Parish.

The rental income for the 3 No residential units is of significant benefit to the long term financial stability of the Parish.

6.02.02 Other Rented Properties (301 & 303 Preston Road)

The sale of 2 No other rental properties is an option and could potentially achieve a receipt of up to £300,000.00.

If sold, it is probable that the receipt would be retained by the Diocese. The current rental income is of significant long term financial benefit to the Parish. As such, the properties should be retained.

6.03.00 Development of the Orchard

It is considered that available land is restricted to the area of land known as the Orchard which is considered surplus to Parish future needs.

It is further considered that sale of the Orchard for agricultural use would achieve minimal financial benefit.

Given the demand for new social housing and the recent granting of Planning Permission for Residential Development in the area that consideration be given to applying for residential development.

If was considered by the Working Group that given the financial constraints of the Parish any development would need to be partially self-funded and include some units for sale and others for rental providing long term asset / income for the future financial stability of the Parish and to serve wider community needs.

7.00.00 PROPOSALS FOR RESIDENTIAL DEVELOPMENT

7.01.00 Proposal

7.01.01 The Parish have appointed JYM Partnership to advise on design proposals for residential development.

7.01.02 After consultation, the proposal is to seek Planning Approval from Ribble Valley BC for:-

- Large single two storey detached property
- 3 No single storey bungalows

Included in Appendix E are the proposed designs, it being the intention that the large detached property is to be sold with the benefit of Planning Permission.

The 3 No single storey bungalows to be constructed on a phased basis as funds permit and be retained by the Parish and let for social housing needs to Local Community.

7.01.03 The income from sale of the detached property to be used to fund the construction of the bungalows.

7.01.04 The parish to investigate any grants that may be available to fund the development works.

7.02.00 Demand for Rental Accommodation in Local Community

7.02.01 Advice has been sought from Chris Dewhurst Estate Agents in Longridge.

He has advised that there is an under supply of similar social housing let at below market rates in the area

7.02.02 Canon Doyle has also advised that there is strong demand for the current rental units and a number of parishioners have asked to be considered if any become vacant.

He has also been approached by parishioners wishing to buy sites for construction of a dwelling.

7.03.00 Value of Residential Plot for Sale

7.03.01 Advice has also been sought from Chris Dewhurst, Estate Agents, on anticipated value of detached dwelling plot for sale.

He has advised that demand is high in the area for single plots for owner development. He had advised that a sale price of up to £200,000 at present may be expected dependant on size, layout etc.

8.00.00 SUMMARY

8.01.00 Alston Lane RC Church is a very active parish serving a large catholic population with high levels of mass attendance being maintained contrary to national trends. The Parish is also an active member of the Local Community contributing to local activities / initiatives and hosting a number of groups / societies meeting on its premises.

8.02.00 An integral part of the parish is Alston Lane RC Primary School with a current roll of 210 and potentially needing to increase capacity to meet needs of a rapidly expanding residential community. The school is also a feeder school to and closely supportive of St Cecilia's RC High School, Longridge.

8.03.00 Canon Doyle has identified the need to consider a Strategy for the long term financial stability of the parish given challenges to income and increased future commitments for maintaining the Parish Church and Buildings.

8.04.00 A working group of parishioners has been established and has considered the current financial position of the Parish and projected financial commitments. It has taken professional advice on the condition of premises and forecast future expenditure.

8.05.00 It is advised that on the basis that current levels of income can be maintained that the Parish will be unable to meet its commitments over next 20 years with a projected deficit forecast to increase to £269,911.00 by 2035.

8.06.00 The Parish therefore needs to consider whether there are sources of other income which can be derived from existing assets which will secure its long term financial stability.

8.07.00 Consideration has been given to the sale of the rented residential accommodation which currently provides an important source of income and helps provide social housing need within the local community.

Given the historical importance of Chapel House / 1 & 2 School House, it is considered incumbent on the parish to retain the property.

The two rental properties on 301 and 303 Preston Road could be sold. However proceeds would certainly be retained by the Diocese given its current financial challenges. The rental income is currently an essential source of income for the Parish.

8.09.00 Consideration has been given to sale of land owned by the Parish. It is considered that the field adjacent to the School must be retained for educational use.

8.10.00 In regards to the field adjacent to the cemetery, this needs to be retained for future cemetery expansion which is a valuable source of income to the Parish.

8.11.00 It has been identified that the area of land adjacent to Chapel House known as the Orchard on other side of the drive could be sold. The sale value for current use would be minimal and as previously advised be retained by the Diocese.

An alternative proposal would be to seek Planning Approval for Residential Development of this area on the following basis:-

- 1 No detached residential property – Plot to be sold to fund development.
- 3 No detached bungalows – Bungalows to be built on phased basis using receipt from sale.

8.12.00 The Working Group recommends to the Parish that initially the potential for redevelopment of available land is made via submission of a Planning Application. It

is considered that additional residential accommodation let on a social housing basis will ensure that the parish is able to continue to serve the local community.

8.13.00 In conjunction with the Planning Application, it is recommended that sources of other funding / grant aid is also investigated.

Alston Lane
Strategic Plan Working Group

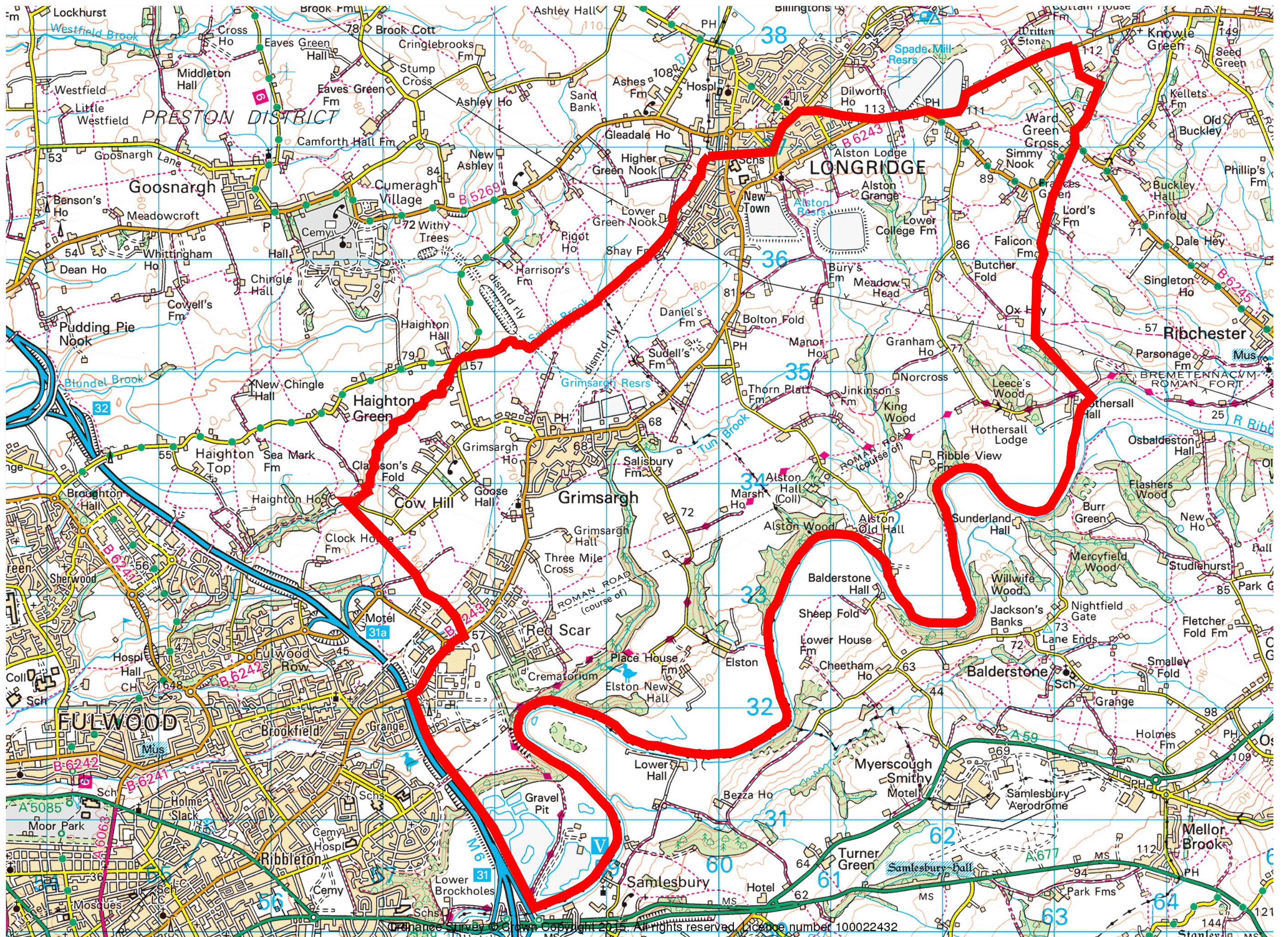
July 2016

February 2017 Rev B – Latest design proposals included in Appendix E

APPENDIX A

PARISH PLAN

Alston Lane RC Parish



APPENDIX B

FINANCIAL STATEMENTS

1. Income / Expenditure – Report / Forecast

Alston Lane Comparative Income & Expenditure

Income & Expenditure projected to rise by 1.5% p.a.

Bank Balance b/fwd 44,932

Income	07-'08	08-'09	09-'10	10-'11	11-'12	12-'13	13-'14	14-'15	Total	Average
Offertory in envelopes and offertory by standing order	32,829	34,938	31,309	33,395	33,578	34,977	34,840	35,218	271,084	33,886
Offertory in loose cash	10,077	9,618	9,798	10,134	9,995	9,103	8,881	9,893	77,498	9,687
Gift Aid	9,933	10,269	10,402	10,263	9,810	9,295	9,724	10,753	80,450	10,056
	<u>52,839</u>	<u>54,825</u>	<u>51,508</u>	<u>53,792</u>	<u>53,383</u>	<u>53,375</u>	<u>53,445</u>	<u>55,864</u>	<u>429,032</u>	<u>53,629</u>
Donations & Legacies	298	1,617	1,063	1,349	5,684	1,067	3,364	3,130	17,571	2,196
Receipts from sale of candles, etc	1,682	1,341	840	934	941	1,203	954	586	8,481	1,060
Property Rents	9,140	11,912	15,644	8,987	16,234	15,894	16,944	16,387	111,140	13,892
Cemetery Income	2,000	1,361	2,070	8,950	3,420	1,750	340	4,420	24,311	3,039
	<u>65,959</u>	<u>71,056</u>	<u>71,125</u>	<u>74,012</u>	<u>79,661</u>	<u>73,289</u>	<u>75,047</u>	<u>80,387</u>	<u>590,535</u>	<u>73,817</u>
Expenditure										
Travel	5,557	940	1,578	1,857	2,315	2,942	5,007	2,561	22,757	2,845
Courses, conferences, retreats and supply costs	306	2,723	1,510	966	861	5,808	2,630	1,810	16,613	2,077
Missals, flowers, candles, wine, altar breads, choir, servers	4,462	6,135	6,802	5,154	6,068	5,457	5,723	6,023	45,824	5,728
Papers, books, votives, candles, goods for resale	109	109	1,648	837	373	655	1,408	846	5,984	748
House and church heat, light and power	10,516	11,467	12,393	11,066	8,939	10,277	13,539	7,532	85,729	10,716
Housekeeping, including papers, food, ets	632	4,142	4,637	9,642	8,445	11,285	9,390	8,631	56,804	7,100
Insurance, water rates, council tax etc	2,914	6,740	7,595	7,627	6,748	7,112	7,587	7,452	53,776	6,722
Property Improvements and repairs	8,505	18,073	8,612	9,776	18,962	15,657	8,480	16,976	105,041	13,130
Stationery, post, telephone & sundry office	2,481	2,876	4,208	5,825	2,049	3,307	2,795	5,014	28,554	3,569
Net Wages - Housekeeper	1,623	3,463	3,523	1,745	1,820	1,628	1,920	1,640	17,362	2,170
Expenditure relating to fetes, bazaars, draws etc	2,600	2,200	2,600	2,400	2,400	4,366	2,400	2,425	21,391	2,674
Levies	10,936	10,629	11,257	11,924	10,317	11,842	12,509	12,567	91,982	11,498
	<u>50,641</u>	<u>69,497</u>	<u>66,363</u>	<u>68,820</u>	<u>69,295</u>	<u>80,336</u>	<u>73,387</u>	<u>73,477</u>	<u>551,816</u>	<u>68,977</u>

Bank Balance c/fwd

23,269 (after major property improvements over £5,000, not inc abov

Alston Lane Comparitive Income & Expenditure

Income & Expenditure projected to rise by 1.5% p.a.

	<i>Actual</i>					
Bank Balance b/fwd	23,269					
Income	<i>15-'16</i>	<i>16-'17</i>	<i>17-'18</i>	<i>18-'19</i>	<i>19-'20</i>	
Offertory	46,000	46,690	47,390	48,101	48,823	
Gift Aid @23% of Offertory	10,580	10,739	10,900	11,063	11,229	
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Donations & Legacies	56,580	57,429	58,290	59,164	60,052	
Receipts from sale of candles, etc	2,200	2,233	2,266	2,300	2,335	
Cemetery Income	1,100	1,117	1,133	1,150	1,167	
Property Rents (4 properties @ £350 rising to £400)	3,000	3,045	3,091	3,137	3,184	
	16,800	16,800	19,200	19,200	19,200	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	79,680	80,623	83,981	84,952	85,939	415,175
Expenditure (based on 8yr prior average)						
Travel	2,850	2,893	2,936	2,980	3,025	
Courses, conferences, retreats and supply costs	2,075	2,106	2,138	2,170	2,202	
Missals, flowers, candles, wine, altar breads, choir, servers	5,725	5,811	5,898	5,987	6,076	
Papers, books, votives, candles, goods for resale	750	761	773	784	796	
House and church heat, light and power	10,700	10,861	11,023	11,189	11,357	
Housekeeping, including papers, food, ets	7,100	7,207	7,315	7,424	7,536	
Insurance, water rates, council tax etc	6,725	6,826	6,928	7,032	7,138	
Property Improvements and repairs	13,000	13,195	13,393	13,594	13,798	
Stationery, post, telephone & sundry office	3,575	3,629	3,683	3,738	3,794	
Net Wages - Housekeeper	2,175	2,208	2,241	2,274	2,308	
Expenditure relating to fetes, bazaars, draws etc	2,600	2,639	2,679	2,719	2,760	
Levies	12,500	12,688	12,878	13,071	13,267	
Cemetery maintenance (new expense)	10,000	10,150	10,302	10,457	10,614	
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	79,775	80,972	82,186	83,419	84,670	411,022
Essential Works						
Church						
Roof maintenance	1,000	1,000	1,000	1,000	1,000	
Drive/CarPark Tarmac					1,250	
Organ rebuild	4,000	3,000	3,000	3,000	3,000	
Stone flag flooring	2,000					
Carpeting- Altar, Lady Chapel						
Decorations church interior						
Church & presbytery rewiring	25,000					
Church gas heaters	7,500					
Caton Room						
Exterior decorations	1,250					
Presbytery						
Replacement windows/doors						
External decorations				3,500		
Kitchen			15,000			
Floor coverings						
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	40,750	4,000	19,000	7,500	5,250	76,500
Professional fees at 12%	4,890	480	2,280	900	630	9,180
Inflation @ 1.5%	1,285	1,285	1,285	1,285	1,285	6,426
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	46,925	5,765	22,565	9,685	7,165	92,106
Projected bank balance						-64,684

Alston Lane Comparitive Income & Expenditure

Income & Expenditure projected to rise by 1.5% p.a.

Bank Balance b/fwd	-64,684					
Income	20-'21	21-'22	22-'23	23-'24	24-'25	
Offertory	49,555	50,298	51,053	51,819	52,596	
Gift Aid @23% of Offertory	11,398	11,569	11,742	11,918	12,097	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
Donations & Legacies	60,953	61,867	62,795	63,737	64,693	
Receipts from sale of candles, etc	2,370	2,406	2,442	2,478	2,515	
Cemetery Income	1,185	1,203	1,221	1,239	1,258	
Property Rents (4 properties @ £400 rising to £450)	3,232	3,280	3,330	3,380	3,430	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	19,200	21,600	21,600	21,600	21,600	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	86,940	90,356	91,387	92,434	93,496	454,613
Expenditure (based on 8yr prior average)						
Travel	3,070	3,116	3,163	3,210	3,258	
Courses, conferences, retreats and supply costs	2,235	2,269	2,303	2,337	2,372	
Missals, flowers, candles, wine, altar breads, choir, servers	6,167	6,260	6,353	6,449	6,545	
Papers, books, votives, candles, goods for resale	808	820	832	845	858	
House and church heat, light and power	11,527	11,700	11,875	12,054	12,234	
Housekeeping, including papers, food, ets	7,649	7,764	7,880	7,998	8,118	
Insurance, water rates, council tax etc	7,245	7,354	7,464	7,576	7,690	
Property Improvements and repairs	14,005	14,215	14,428	14,645	14,864	
Stationery, post, telephone & sundry office	3,851	3,909	3,967	4,027	4,087	
Net Wages - Housekeeper	2,343	2,378	2,414	2,450	2,487	
Expenditure relating to fetes, bazaars, draws etc	2,801	2,843	2,886	2,929	2,973	
Levies	13,466	13,668	13,873	14,081	14,292	
Cemetery maintenance (new expense)	10,773	10,935	11,099	11,265	11,434	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	85,940	87,229	88,538	89,866	91,214	442,786
Essential Works						
Church						
Roof maintenance	1,000	1,000	1,000	1,000	1,000	
Relead church windows	12,000					
Drive/CarPark Tarmac					1,250	
Stone flag flooring						
Carpeting- Altar, Lady Chapel	8,000					
Decorations church interior						
Church & presbytery rewiring						
Church gas heaters						
Caton Room						
Exterior decorations	1,250					
Presbytery						
Replacement windows/doors					13,000	
External decorations				3,500		
Kitchen						
Floor coverings	2,000					
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	24,250	1,000	1,000	4,500	15,250	46,000
Professional fees at 12%	2,910	120	120	540	1,830	5,520
Inflation @ 1.5%	773	773	773	773	773	3,864
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	27,933	1,893	1,893	5,813	17,853	55,384
Projected bank balance						-108,241

Alston Lane Comparitive Income & Expenditure

Income & Expenditure shown to rise by 1.5% p.a.

Bank Balance b/fwd						-217,342	
Income	30-'31	31-'32	32-'33	33-'34	34-'35		
Offertory	60,407	61,313	62,233	63,166	64,114		
Gift Aid @23% of Offertory	13,894	14,102	14,314	14,529	14,747		
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>		
Donations & Legacies	74,301	75,416	76,547	77,695	78,860		
Receipts from sale of candles, etc	2,370	2,406	2,442	2,478	2,515		
Cemetery Income	1,185	1,203	1,221	1,239	1,258		
Property Rents (4 properties @ £500 rising to £550)	3,232	3,280	3,330	3,380	3,430		
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>		
	24,000	26,400	26,400	26,400	26,400		
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>		
	105,088	108,704	109,939	111,192	112,464	547,387	
Expenditure							
Travel	3,743	3,799	3,856	3,914	3,973		
Courses, conferences, retreats and supply costs	2,725	2,766	2,807	2,849	2,892		
Missals, flowers, candles, wine, altar breads, choir, servers	7,518	7,631	7,745	7,861	7,979		
Papers, books, votives, candles, goods for resale	985	1,000	1,015	1,030	1,045		
House and church heat, light and power	14,051	14,262	14,476	14,693	14,913		
Housekeeping, including papers, food, ets	9,324	9,464	9,606	9,750	9,896		
Insurance, water rates, council tax etc	8,831	8,963	9,098	9,234	9,373		
Property Improvements and repairs	17,072	17,328	17,588	17,852	18,120		
Stationery, post, telephone & sundry office	4,695	4,765	4,837	4,909	4,983		
Net Wages - Housekeeper	2,856	2,899	2,942	2,986	3,031		
Expenditure relating to fetes, bazaars, draws etc	3,414	3,465	3,517	3,570	3,623		
Levies	16,415	16,661	16,911	17,165	17,422		
Cemetery maintenance (new expense)	13,132	13,329	13,529	13,732	13,938		
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>		
	104,761	106,332	107,927	109,546	111,190	539,757	
Essential Works							
Church							
Roof maintenance	1,000	1,000	1,000	1,000	1,000		
Cast iron gutters/downpipes							
Stoneworks	10,000						
Drive/Car Park Tarmac	1,250						
Decorations exterior							
Caton Room							
Timber frame windows/doors	10,000						
Exterior decorations	1,250						
Carpet floor finish							
Presbytery							
Replacement windows/doors						7,000	
External decorations					3,500		
Bathroom			10,000				
Internal decoration							
Floor coverings	2,000						
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	25,500	1,000	11,000	4,500	8,000	50,000	
Professional fees at 12%	3,060	120	1,320	540	960	6,000	
Inflation @ 1.5%	840	840	840	840	840	4,200	
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>	
	29,400	1,960	13,160	5,880	9,800	60,200	
Projected bank balance							-269,911

APPENDIX C

CONDITION SURVEY AND CHURCH / PRESBYTERY



LANCASTER RC DIOCESE

Condition Appraisal
of
Our Lady and St Michael's RC Church, Preston Road, Longridge, Preston, PR3 3BJ
On behalf of
Lancaster RC Diocese
(MBM/KR/0902/11/09/1473)



Project Managers

Architects

Quantity Surveyors

Building Surveyors

CDM Advisors



LANCASTER RC DIOCESE

Condition Appraisal
of
Our Lady and St Michael's RC Church, Preston Road, Longridge, Preston, PR3 3BJ
On behalf of
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Project Managers

Architects

Quantity Surveyors

Building Surveyors

CDM Advisors

1.00.00 THE SCOPE OF THE INSPECTION AND GENERAL MATTERS

1.01.00 INSTRUCTIONS

We are acting upon the instructions of Canon Doyle of Our Lady and St Michael RC Church to undertake a Condition Appraisal of the Church and Presbytery to identify principle areas of expenditure to maintain the church in good condition over the next twenty years.

1.02.00 LIMITATIONS AS TO THE SCOPE OF THE INSPECTION AND REPORT

1.02.01 General

We have made such an examination as was practicable at the time of inspection, with a view to advising upon the principal elements in the construction of the property in the context of the brief.

It should be understood however, that unless specifically stated to the contrary within the Report, the inspection did not cover those parts of the building which were unsafe, concealed, inaccessible or unexposed and, as such, it is not possible to report that such areas are free from infestation, deterioration or other latent defects.

Accordingly, within the Report, we have informed you of the extent of the examination that we have carried out, and if we are in the opinion that there is a material risk of defect or failure in areas we have not inspected, we have advised you what, if any, further steps could be taken in respect of that risk.

1.02.02 Areas to which we were unable to gain access or our inspection was restricted

We were unable to gain access to the following locations:-

- i. Roof coverings
- ii. Roof voids
- iii. Floor voids

1.02.03 Sub-Soil and Foundations

In the absence of specific instructions to the contrary, no investigations have been made to confirm the nature and condition of the sub-soil or the foundations.

We have however endeavoured to formulate an opinion upon foundation stability from indications of distress at ground level.

1.03.00 MATERIALS IDENTIFICATION AND ANALYSIS

1.03.01 Asbestos

No Asbestos Management Survey was available at the time of inspection. It is recommended that a full Asbestos Management Survey is undertaken as a matter of priority.

1.04.00 MECHANICAL AND ELECTRICAL SERVICES

We have not undertaken any tests or efficiency calculations of the mechanical or electrical service installations including the below ground drainage installation. We have however inspected and commented where appropriate on the condition of such service installations.

1.05.00 GENERAL MATTERS RELATING TO THE INSPECTION AND REPORT

1.05.01 Dates of Inspection

Our inspection was undertaken over period of 28th September to 19th October 2015.

1.05.02 Weather at Time of Inspection

The weather on the days of our inspection was variable but generally dry.

1.05.03 Defects arising during internal since inspection

This report reflects the condition of the various parts of the property at the time of inspection. It should be recognised that defects can develop subsequent to our inspection.

1.05.04 Directions and Orientation

All reference is taken as facing the main entrance to the church from the car parking area which is the northern elevation.

1.05.05 Third Parties

This report is for the sole use and benefit of Lancaster RC Diocese and Our Lady and St Michael RC Church. The liability of JYM Partnership LLP does not extend to third parties.

2.00.00 GENERAL

2.01.00 General Description

The Church and Presbytery are attached and are located off Preston Road in the Alston area of Longridge. They were constructed in 1856.

A primary school with the same name is located within the grounds with a shared use of the access roads and car park.

The condition of the Primary School is excluded from this report.

The church has been listed as Grade II Special Architectural and Historic Interest by English Heritage. A copy of the listing is provided separately in 2.02.

The church is constructed of faced solid ashlar block external walls, formed in bays with buttresses, with a plastered internal finish.

The roof is of steeply pitched exposed scissor braced timber roof trusses, over boarded in timber with a slate roof covering.

The floor is of solid concrete with timber or stone slab decking.

To the west elevation, a gallery with organ is formed with timber framed floor structure. A lady chapel has been formed underneath.

The raised altar to the eastern elevation is formed with chancel arch and carved stone reredos.

Nave windows are of two pointed lights with quatrefoil over. The main east window to Chancel is formed with two lights.

A social room extension formed 10 years ago links the Church and Presbytery being called Caton Room. It has been formed in a modern but complementary form of construction with solid concrete floor, cavity external walls and slated pitched roof.

The Presbytery is formed in matching style with solid stone elevational walls with timber framed suspended floors and roof structure clad in slate. Windows are of timber framed single glazed pattern. A Conservatory area has been formed to southern elevation in UPVC with double glazing.

Mains water, electrical and gas supplies are provided. Foul drainage is to mains onto Preston Road with surface water drainage to rear.

2.02.00

Special Architectural and Historic Interest

The church has been designated as being Grade II Special Architectural and Historic interest by English Heritage.

A copy of the listing description for the church downloaded from Ribble Valley BC website is as follows:-

Roman Catholic Church, 1656 by I. & C. Hansom (Pevsner). Rock-faced sandstone with steep slate roof. Comprises a seven-bay nave and one-bay chancel with continuous steep slate roof. The bays are separated by buttresses with offsets. The nave windows are of 2 pointed lights with a quatrefoil over. The chancel is lit by 2 narrow windows with cusped lights and a trefoil. The entrance is in the 6th bay from the east, through a doorway with moulded surround and 2 centred head. In the east wall is a window with geometrical tracery. The west wall has diagonal buttresses, with a central buttress with offsets partly supporting an open octagonal bellcote on a square base with an octagonal pointed stone cap. Inside there is west gallery of pitch pine with organ, a chancel arch of 2 chamfered orders, a carved stone reredos, and an open timber roof with very slender scissor-braced trusses. The glass in the east window is said to be by Hardman (Pevsner).

3.00.00 BUILDING FABRIC CONDITION APPRAISAL

3.00 BUILDING FABRIC CONDITION APPRAISAL

Note: Given brief to assess levels of expenditure over next 20 years remedial works as forecast in four 5 year periods. It should be accepted that there will be a need to be a reassessment of need for identified remedial works on a regular basis to review rate of deterioration etc.

Ref	Location / Element	Condition	Recommendations	2015-20	2021-25	2026-30	2031-35
3.01.00	CHURCH EXTERNAL						
3.01.01	Slated roof covering with clay ridge tiles	In generally good condition for age but given steep pitch suffering from localised wind uplift on regular basis. Regular maintenance with mobile access platform required.	With mobile access platform to undertake localised remedial works on a regular annual basis. Assume £1,500 pa	£5,000.00	£5,000.00	£5,000.00	£5,000.00
3.01.02	Cast iron gutters/downpipes	In good and serviceable condition	No works required in short term. Anticipate remedial works in 2026-30 to repair/partial replacement			£5,000.00	
3.01.03	Ashlar block stone elevational walls with carved stone tracery to door/window opening and bell tower	Stoneworks in good condition having benefited from localised recent repointing. Stone in very good condition with no signs of any structural distress	No works recommended in short term. Localised repointing forecast in 2031-35				£10,000.00
3.01.04	Leaded light windows to northern and western elevation	Leaded lights to northern elevation were reglazed in 2008/09 at a cost of £20,500 and are in a good condition. Leaded lights to southern and eastern elevations are beginning to deteriorate Releading to leaded lights to southern and wester elevations will be required.	Releading to leaded lights to southern and western elevations will be required. 30 No panels @ £1,500 each		£12,000.00	£12,000.00	
3.01.05	Main East Window	Leaded lights reglazed in 2012 and in good condition	No works anticipated				
3.01.06	Access Drive/ Car Park tarmac finish	Resurfaced in 2012 and in satisfactory condition. Evidence of localised deterioration apparent.	To anticipate renewal of line markings on 5 year cycle and resurfacing in 15 years	£1,250.00	£1,250.00	£30,000.00	£1,250.00
3.01.07	Timber framed access and internal doors	All in good condition	Redecoration covered elsewhere . No works required				
3.01.08	Water drainage installation	All in good condition. Remedial works undertaken to surface water underground system in 2014 involving exposure of collapsed section	No works anticipated				
	INTERNAL						
3.01.09	Timber framed roof structure with timber over-board	In good condition from visual inspection. Detailed inspection undertaken in 2013 during redecoration	No anticipated works. It is imperative that roof and gutters are maintained in good condition to prevent any outbreaks of timber decay occurring.				

Ref	Location / Element	Condition	Recommendations	2015-20	2021-25	2026-30	2031-35
3.01.10	Internal walls plastered finish	Plasterwork in good condition reflecting roofs/walls maintained in good condition	No works anticipated				
3.01.11	Organ Gallery- timber framed	In good condition with no evidence of structural distress	No works anticipated				
3.01.12	Organ Gallery- timber framed	Church have following recent inspection a quotation for major overhaul/servicing of organ which is now required	Overhaul of organ as quotation provided	£16,000.00			
3.01.13	Timber and stone flag flooring to Nave	Timber flooring in good condition. Stone flags are becoming loose and uneven.	To take up and relevel flags. At same time to form access to inspect sub-floor	£2,000.00			
3.01.14	Carpet finish to Altar and Lady Chapel	Laid in 1987 and in currently serviceable condition	To anticipate renewal with high quality sheet carpet		£8,000.00		
3.01.15	Decorations	Church redecorated in 2013 and currently in good condition. Cost in 2010 - £25,000.	To anticipate redecoration on 7 year cycle			£25,000.00	
3.01.15	Stone Reredos	Major crack to left of central panel but longstanding in age.	Remedial works will be very difficult to undertake. To monitor condition				
3.02.00	CATON ROOM						
	EXTERNAL						
3.02.01	Slate covered pitched roof with clay ridge tiles and velux rooflight	All in good condition	Remedial works included in 3.01.01				
3.02.02	Gutters/Downpipes	All in good condition	Remedial works included in 3.01.02				
3.02.03	Stone elevational walls/cills in cavity construction	In good condition	Remedial works included in 3.01.03				
3.02.04	Timber framed window/doors	Currently in serviceable condition but deterioration with age to be anticipated	Renewal to be anticipated in twenty years. 4No doors, 6 No windows				£10,000.00
3.02.05	External decorations	Currently in good condition having been recoated in 2013	To recoat on a five year cycle	£1,250.00	£1,250.00	£1,250.00	£1,250.00
	INTERNAL						
3.02.06	Plastered ceiling and walls	Currently in good condition	No works anticipated provided roof/walls kept in good condition				

Ref	Location / Element	Condition	Recommendations	2015-20	2021-25	2026-30	2031-35
3.02.07	Carpet floor finish	Currently in good condition	Renewal to be anticipated in 10 years time with good quality carpet			£4,000.00	
3.03.00	PRESBYTERY						
	EXTERNAL						
3.03.01	Slate pitched roof covering with clay ridge tiles and Velux roof lights	In good condition following regular maintenance	Remedial works included in 3.01.01				
3.03.02	Gutters/Downpipes	In good condition following regular maintenance	Remedial works included in 3.01.02				
3.03.03	Stone solid walls with dressed lintels/cills	In good condition following regular maintenance	Remedial works included in 3.01.03				
3.03.04	Timber framed single glazed window/door. Casement to rear sliding sash to front	Currently in satisfactory condition having been subject to regular redecoration/maintenance. Windows are single glazed and not thermally efficient.	To anticipate renewal with double glazed units in two phases 13 No in 10 years and 7No in 20 years as condition dictates		£13,000.00		£7,000.00
3.03.05	Decorations	Renewed in 2013 and in good condition	To recoat on a five year cycle	£3,500.00	£3,500.00	£3,500.00	£3,500.00
3.03.06	Garage automatic overhead door	In good condition	No works anticipated				
3.03.07	UPVC Conservatory	In good condition	No works anticipated				
	INTERNAL						
3.03.08	Kitchen	Aged and dilapidated with limited remaining life	To undertake complete refurbishment prior to installing new kitchen/fittings	£15,000.00			
3.03.09	Bathroom	In satisfactory condition following remedial works	To anticipate renewal in 15-20 years				£10,000.00
3.03.10	Internal Finishes	Generally in good condition and redecorated throughout 2013 at £5,000	To anticipate complete redecoration in 10 years			£6,500.00	
3.03.11	Floor Coverings	Currently in good condition but aged on first floor	To consider renewal of carpets as aged on phased basis throughout the next 20 years		£2,000.00	£2,000.00	£2,000.00

Ref	Location / Element	Condition	Recommendations	2015-20	2021-25	2026-30	2031-35
3.03.12	Internal Finishing	In satisfactory current condition	No improvements anticipated				
SUB TOTAL				£44,000.00	£46,000.00	£94,250.00	£50,000.00

4.00.00 MECHANICAL AND ELECTRICAL CONDITION APPRAISAL

5.00.00 FINANCIAL SUMMARY

5.01.00 Total costs of the specified works are advised as follows:-

	2015-20	2021-25	2025-30	2031-35
Section 3.00 – Building Fabric Condition Appraisal	£44,000.00	£46,000.00	£94,250.00	£50,000.00
Section 4.00 – Mechanical and Electrical Services Condition Appraisal	£32,500.00	£0.00	£0.00	£0.00
Sub Total	£76,500.00	£46,000.00	£94,250.00	£50,000.00
Professional Fees at 12%	£9,180.00	£5,520.00	£11,310.00	£6,000.00
Sub Total	£85,680.00	£51,520.00	£105,560.00	£56,000.00
Inflation at 1.5% p/a from Base Date to 2020, 2025, 2030 and 2035	£6,426.00	£3,864.00	£7,917.00	£4,200.00
Total Anticipated Costs	£92,106.00	£55,384.00	£113,477.00	£60,200.00

NB.

- i.) All costs are provided inclusive of Professional Fees, Statutory Consent Fees.
- ii.) VAT is still payable on Repairs to Listed Buildings at the standard rate of 20% however you are able to claim for VAT refund from 'Listed Places of Worship Grant Scheme'. No VAT is therefore included.
- iii.) All costs provided at base date: 3rd quarter, 2015. Inflation at 1.4% pa included.
- iv.) Costs are provided on a selective tendering basis.
- v.) Costs exclude routine, minor day to day repair works undertaken on a frequent basis: e.g. gutter clearance, carpet cleaning and replacement, ongoing internal redecorations etc.

6.00.00 SUMMARY OF CONDITION

6.01.00 It is advised that the Church is currently in good condition having benefited from major recent expenditure on remedial works.

It is however advised that major expenditure must be anticipated to the value of £321,167 to maintain the premises in good condition over the next twenty years.

Major elements of expenditure are anticipated as follows:-

- 1.) Maintenance of roof coverings and rainwater disposal systems.
- 2.) Repointing / minor repair to stonework.
- 3.) Releading of lights to western and northern elevations.
- 4.) Renewal of timber framed windows.
- 5.) Cyclical redecoration and renewal of finishes.
- 6.) Electrical rewiring.
- 7.) Renewal of gas fired heaters.
- 8.) Overhaul of organ.
- 9.) Resurfacing of Car Park / Access Roads

It should be anticipated that if the property is not maintained and kept in good order that further consequential damage and remedial works would be required.

JYM Partnership LLP
Oak House
28 Sceptre Way
Bamber Bridge
Preston
PR5 6AW

11th January 2016

APPENDICES

APPENDIX A PHOTOGRAPHS

Photograph Schedule
Our Lady and St Michael's RC Church

PHOTO REF	
Photo 1	North Elevation - General View from car park
Photo 2	Northern Elevation – Church
Photo 3	Western Elevation – Church
Photo 4	Southern Elevation – Church
Photo 5	Eastern Elevation
Photo 6	Caton Room
Photo 7	Presbytery – Front Elevation
Photo 8	Presbytery – Entrance
Photo 9	Presbytery – Rear Elevation
Photo 10	Presbytery – Conservatory
Photo 11	Presbytery – Side Elevation / Garage
Photo 12	Car Park
Photo 13	Access Drive
Photo 14	Nave
Photo 15	Altar
Photo 16	Nave North
Photo 17	Nave South
Photo 18	Organ Balcony
Photo 19	Caton Room – General View – Picture to be inserted
Photo 20	Presbytery – Living Room
Photo 21	Presbytery – Kitchen
Photo 22	Presbytery – GFI Corridor

Photograph Schedule
Our Lady and St Michael's RC Church



1



2

Photograph Schedule
Our Lady and St Michael's RC Church



3



4

Photograph Schedule
Our Lady and St Michael's RC Church



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Photograph Schedule
Our Lady and St Michael's RC Church



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Photograph Schedule
Our Lady and St Michael's RC Church



9



10

Photograph Schedule
Our Lady and St Michael's RC Church



11



12

Photograph Schedule
Our Lady and St Michael's RC Church



13



14

Photograph Schedule
Our Lady and St Michael's RC Church



15



16

Photograph Schedule
Our Lady and St Michael's RC Church



17



18

Picture to be inserted

19

Photograph Schedule
Our Lady and St Michael's RC Church



20



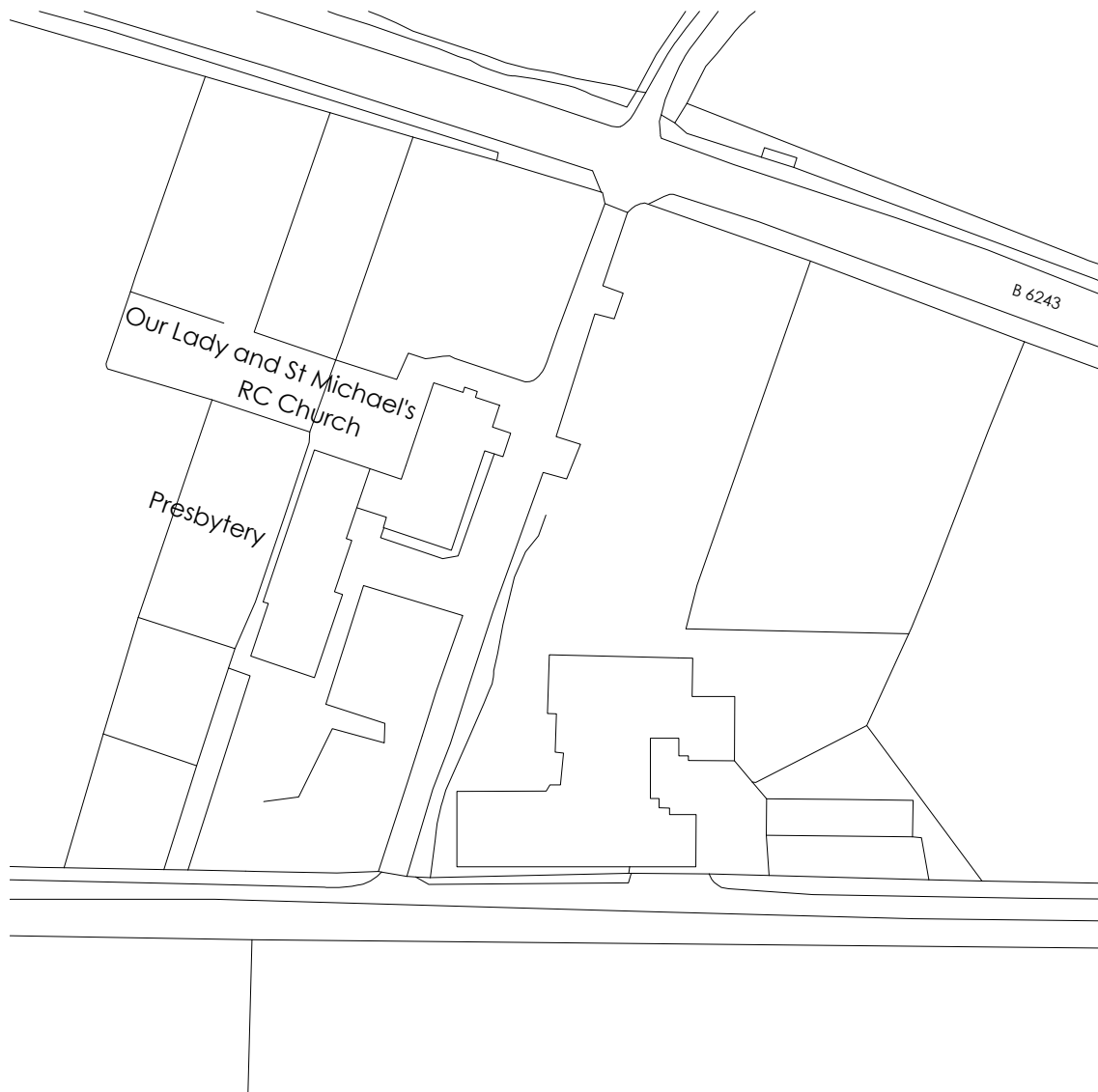
21

Photograph Schedule
Our Lady and St Michael's RC Church



22

APPENDIX B SITE PLAN



SITE LOCATION PLAN

APPENDIX D

ALSTON LANE RC PRIMARY – SCHEME DESIGN / BUDGET COST FOR EXTENSION



ESTIMATE
for
RESIDENTIAL OUTLINE PLAN
at
ALSTON LANE RC PRIMARY SCHOOL

SUMMARY

Date 22.10.2015

BUILDING COSTS (INCLUDING PRELIMS)		£187,525.00
CONTINGENCY	10%	£18,752.50
ANTICIPATED TENDER SUM INCLUDING CONTINGENCIES (EXCLUDING FEES AND VAT)		£206,277.50
PROFESSIONAL FEES	15%	£30,941.63
BUILDING & PLANNING APPLICATION FEES		£1,600.00
		£238,819.13
VAT	20.0%	£47,763.83
TOTAL INCLUDING CONTINGENCIES, FEES AND VAT		<u>£286,582.95</u>

NOTES

ESTIMATE PREPARED USING: JYM Drawing 0902/11/09/01 REV A

Prices current as 4th Quarter 2015

ASSUMPTIONS

Good ground conditions
Existing services capable of being extended into new areas

EXCLUSIONS

PREPARED BY.....P Young..... DATED...22/10/2015.....

CHECKED BY.....R Knowles..... DATED...22/10/2015.....

SUMMARY

SINGLE STOREY EXTENSION			£172,000.00
EXTENSION TO PLAYGROUND			£15,525.00
		BUILDERS WORK TOTAL	<u>£187,525.00</u>

CLASSROOM EXTENSION

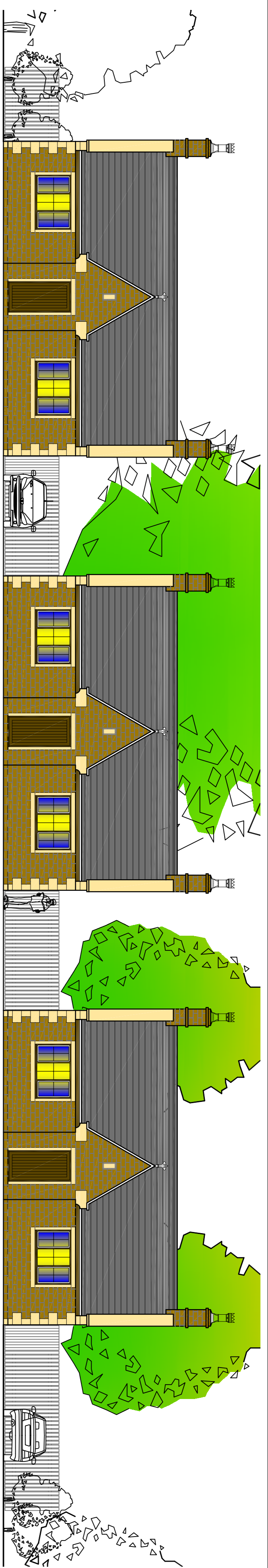
New classroom and M&F toilet	115 m ²	£1,500.00	£172,500.00
TOTAL CLASSROOM EXTENSION TO SUMMARY			<u>£172,500.00</u>

EXTENSION TO PLAYGROUND

Tarmacadam areas	250 m ²	£54.00	£13,500.00
Preliminaries	15%	£750.00	£2,025.00
TOTAL SITE WORKS TO SUMMARY			<u>£15,525.00</u>

APPENDIX E

DESIGN PROPOSALS

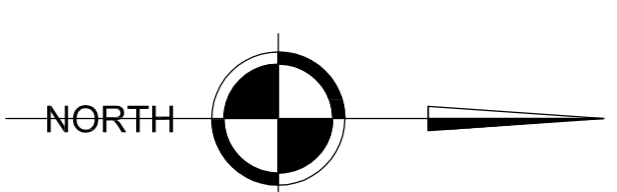


PROPOSED STREET SCENE SCALE 1:100



PROPOSED SITE ENTRANCE PLAN
SCALE 1:200

PROPOSED SITE PLAN
SCALE 1:200



Notes:

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Rev	Date	Revision
B	30/01/17	Colour added to plot 4
A	21/10/15	Revised widening at site entrance and passing place outside

JYM
partnership

Oak House 28 Sceptre Way
Bomber Bridge Preston PR5 6AW
Tel : 01772 323666
Fax : 01772 338611
Email : jym@jympartnership.co.uk
www.jympartnership.co.uk

Project:
HYBRID PLANNING FOR 3
BUNGALOWS AND 1 DETACHED
HOUSE AT LAND ADJACENT 253
PRESTON ROAD PRESTON PR3 3BJ

client:
LANCASTER RC DIOCESAN
TRUSTEES / OUR LADY & ST
MICHAELS RC CHURCH

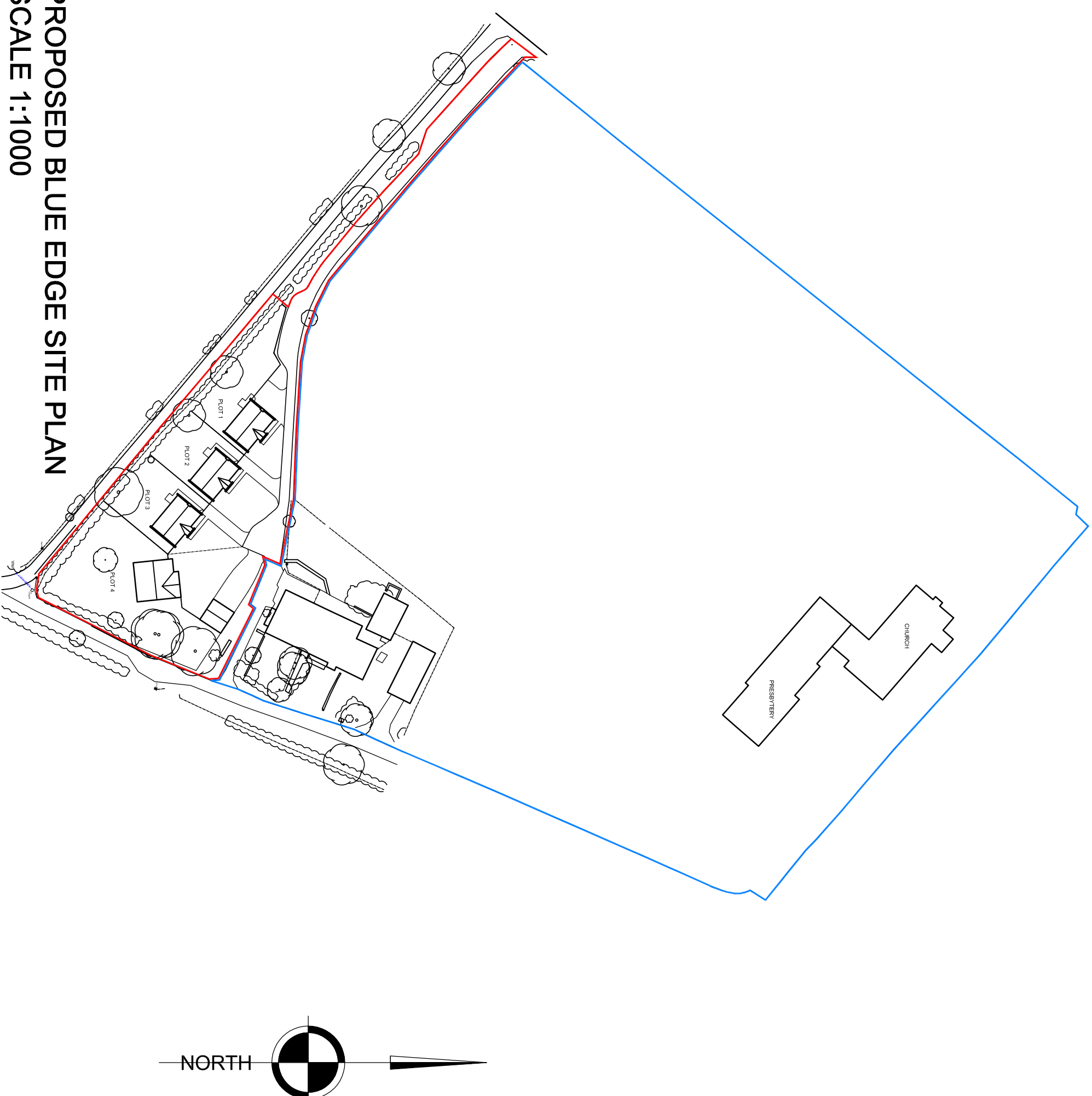
drawing title:
HYBRID PLANNING
PROPOSED SITE PLAN

scale:	AS SHOWN ON A1		
drawn:	CG	checked:	MBM
date:	MAY 2015		
project no.	0902/11/09	dra. no.	001
		rev:	B

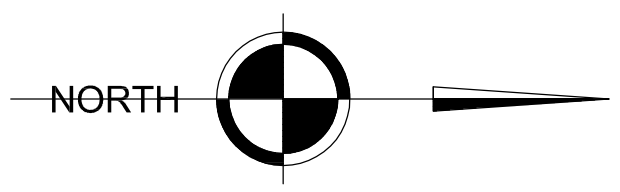
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This drawing to be read in conjunction with all relevant specifications and standards. It is issued as a preliminary drawing and is subject to change without notice. It is issued with other Conditions of Promotion. If in doubt please ask. **DO NOT SCALE FROM THIS DRAWING.**

Notes:



PROPOSED BLUE EDGE SITE PLAN
SCALE 1:1000



Rev	Date	Revision



Oak House 28 Sceptre Way
Bamber Bridge Preston PR5 6AW
Tel : 01772 323666
Fax : 01772 338611
Email : jym@jympartnership.co.uk
www.jympartnership.co.uk

project:
HYBRID PLANNING FOR 3
BUNGALOWS AND 1 DETACHED
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PRESTON ROAD PRESTON PR3 3BJ

client:
LANCASTER RC DIOCESAN
TRUSTEES / OUR LADY & ST
MICHAELS RC CHURCH

drawing title:
HYBRID PLANNING
SITE PLAN RED AND BLUE EDGE

scale:
AS SHOWN at A3

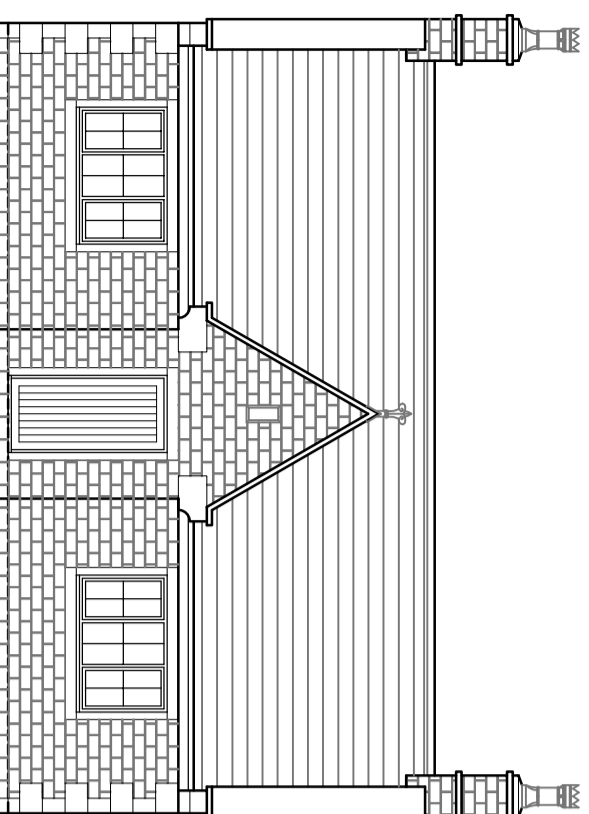
drawn:
CG

checked:
MBM

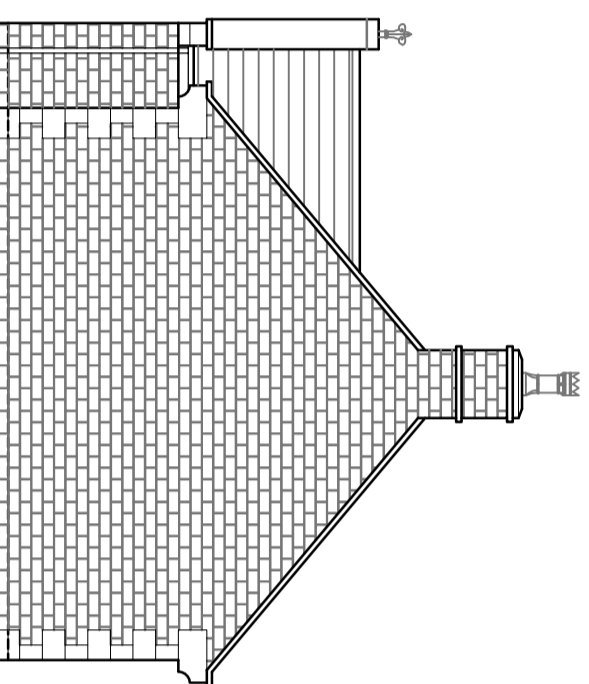
date:
JAN 2017

project no. **0902/11/09** dwg. no. **002** rev.

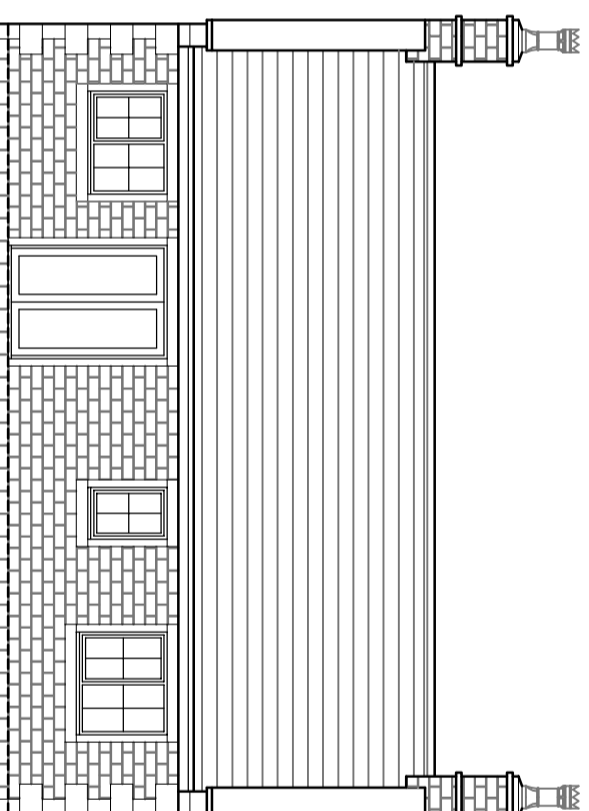
ELEVATIONS 1:100



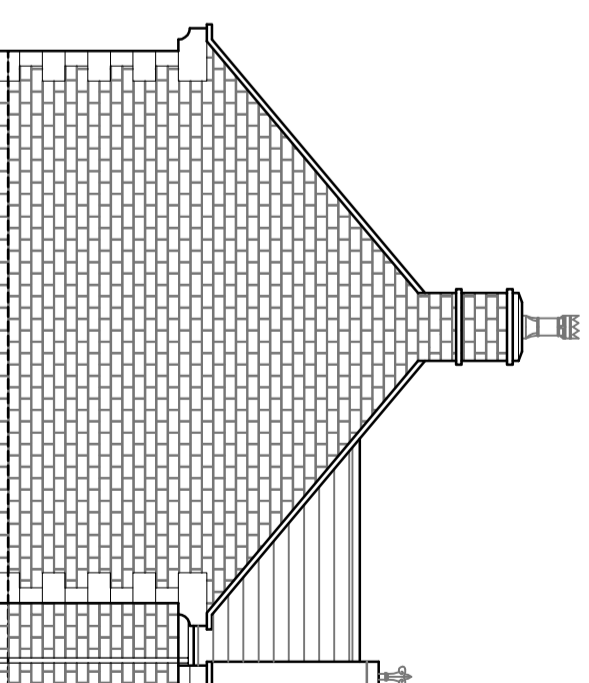
FRONT



SIDE



REAR



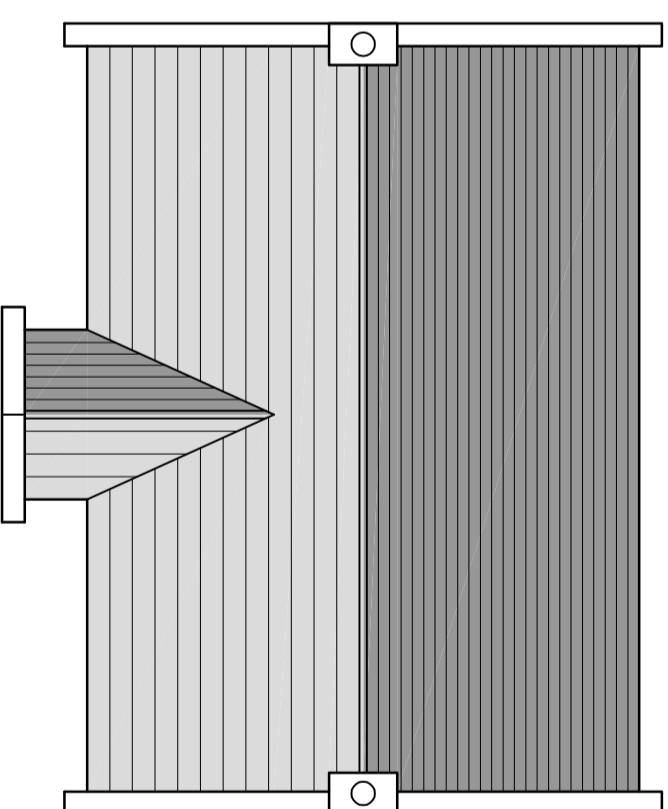
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NOTES:

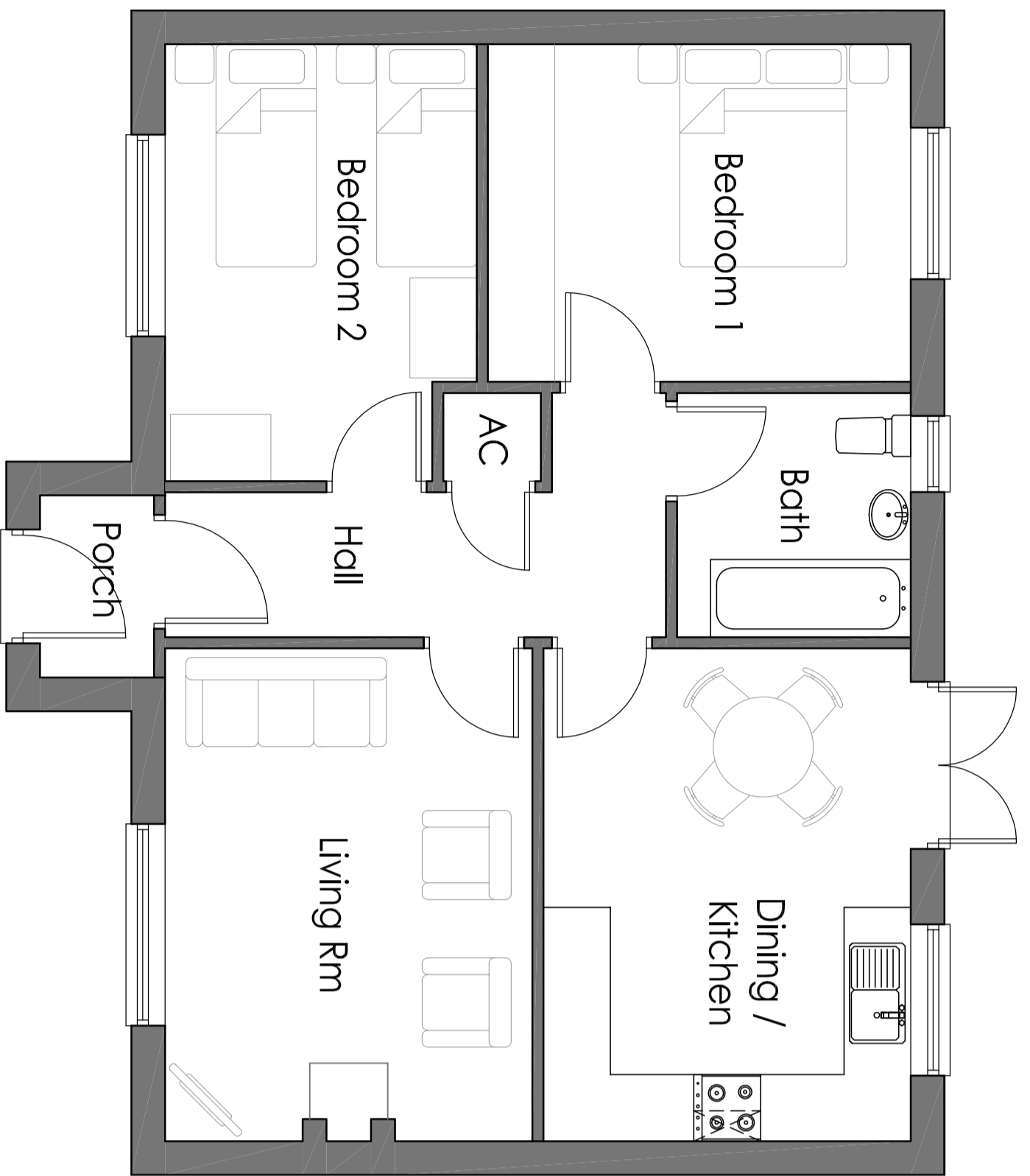
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FACING MATERIALS

- Natural stone to outer face of external walls
- Stone quoins
- Stone heads sills and surrounds
- Stone kneelers
- Stone coping to parapet walls
- Slate to roof
- Brown pvcu windows
- Black pvcu rainwater goods



ROOF PLAN 1:100



FLOOR PLAN 1:50

Rev/	Date	Revision
<p>JYM partnership</p> <p>Oak House 28 Sceptra Way Bamber Bridge Preston PR5 6AW Tel : 01772 323666 Fax : 01772 338611 Email : jym@jympartnership.co.uk www.jympartnership.co.uk</p>		
<p>client: LANCASTER RC DIOCESAN TRUSTEES / OUR LADY & ST MICHAELS RC CHURCH</p>		
<p>project: HYBRID PLANNING FOR 3 BUNGALOWS AND 1 DETACHED HOUSE AT LAND ADJACENT 253 PRESTON ROAD PRESTON PR3 38J</p>		
<p>drawing title: BUNGALOW PLANS AND ELEVATIONS</p>		
scale:	A5 SHOWN at A2	
drawn:	CG	checked: MBM
date:	SEPT 16	
project no:	0902/11/09	diag. no. 003
		rev.

