



**APPRAISAL**

on

**BARNS REF: B1**

at

**ELMRIDGE FARM**  
**Chipping**

**W/12/550**

Mr. R. Hesketh  
Elmridge Farm  
Elmridge Lane  
Chipping  
Lancashire  
PR2 2NY

28 July 2012

**W/12/550/PGW/LAW**



## **1.0 Introduction**

- 1.01 Our terms of reference are to carry out a visual structural on the Barn ref: B1:-  
at Elmridge Farm, Chipping  
with regard to the proposal to convert these to domestic dwellings, and to report.
- 1.02 We visited the above on 26 July 2012 to carry out our inspection,  
and may now
- 1.03 The barns are identified on the attached plan layout.
- 1.04 For clarification this report relates to an inspection only of that noted under (1.01). We have not examined any parts which were covered, unexposed or inaccessible at the time of the inspection.  
We also have not examined any woodwork and therefore cannot confirm that this is free from rot or other defect.  
It should be noted that this report is for the use of the party to which it is addressed. No responsibility can be accepted for the use of this report by a third party.



## **BARN Ref: B1**

### **2.0 Appraisal Findings**

- 2.01 The notation used in this report assumes facing the barn from the front.
- 2.02 The left hand building is of stone construction and is two storey.  
The external walls are (nominally) 450mm thick.  
The roof is tiled.
- 2.03 There was no access to the first floor at the time of the inspection..
- 2.04 The right hand building is an extension of the above and is brickwork and single storey.  
The external walls are 255mm solid brickwork construction.  
The roof is tiled.
- 2.05 During our inspection we made the following notes:-

#### **INTERNAL**

##### **Left Hand Building**

- a) **Front Left Hand Area**  
Access was restricted in this area.  
The walls accessible are virtually plumb.  
The window cills accessible are virtually level.  
There is a steel beam running front to rear. Whilst the beam appears in reasonable condition, there are indications of corrosion at the front support (external wall).
- b) **Rear Left Hand Area**  
Access was restricted in this area.  
The walls accessible are virtually plumb.  
There is a timber floor support beam running left to right which appears in reasonable condition.



c) Front Right Hand Area

Access was restricted in this area.

The walls accessible are virtually plumb.

d) First Floor Level

There was no access to this area at the time of the inspection.

Right Hand Building

e) Left Hand Room

Access was restricted in this room.

The walls accessible are virtually plumb.

The rear window cill is virtually level.

There are exposed internal timber lintels.

f) Right Hand Room

Access was restricted in this room.

The walls accessible are virtually plumb.

The rear window cill is virtually level.

EXTERNAL

a) Front Elevation-Left Hand Building

The wall was checked at ground floor level.

The walls are virtually plumb.

The window cills and door heads are virtually level.

b) Front Elevation-Right Hand Building

The wall was checked at ground floor level.

The walls are virtually plumb.

The window cills and brickwork coursing are virtually level.



c) Left Hand Gable Elevation

The wall was checked at ground floor level.

The walls are virtually plumb.

Immediately adjacent to the rear the stone work at low level is loose and displaced.

c) Rear Elevation

Access was restricted.



### **3.0 Discussion**

3.01 We have no information relating to the ground conditions directly beneath the property.

However, from our general knowledge of the area and discussion with the Local Authority we would generally expect to find ground with good load-bearing properties.

3.02 All properties will tend to settle as the underlying ground compacts. The amount of settlement will depend on the nature and degree of loading, and the type of sub-soil.

Differential settlement may be observed by falls in floors, door heads, window cills, and out of plumb walls, together with associated cracking.

3.03 The rate of settlement will decrease with time.

3.04 We have no information with regard to any proposed conversion at the present time.



## **4.0 Conclusions and Recommendations**

- 4.01 From the findings of this limited visual inspection there are no obvious indications of any recent significant foundation movement.
- 4.02 There was no access to the roof areas at the time of the inspection.
- 4.03 Given the findings on the adjacent barns we would expect to find timber rafters supporting the tiled covering, with rafters supported on timber purlins and trusses.
- 4.04 We have no information with regard to the condition of the timber, however we recommend a timber specialist be engaged to confirm the condition of the timber and recommend appropriate treatment work.
- 4.05 We recommend that, generally all timber lintels are removed and replaced with either concrete lintels or proprietary galvanised steel lintels.
- 4.06 There is loose stonework in the rear left hand corner. We recommend this localised area is taken down and re-built.
- 4.07 We have no information with regard to the proposed conversion or works associated.
- 4.08 However, on the left hand area we would normally detail a new concrete ground floor and introduce new internal blockwork walls to carry loads from any proposed first floor.
- 4.09 The new blockwork lining walls would be tied to the existing external stonework walls thus providing stability.
- 4.10 On the right hand area, the external walls are solid 225mm brickwork. Work will be required to introduce a cavity / inner lining and insulation.



- 4.11 From the findings of this limited visual inspection only minor re-building of the left hand at the rear is required.
- 4.12 We would therefore consider the property suitable for conversion.

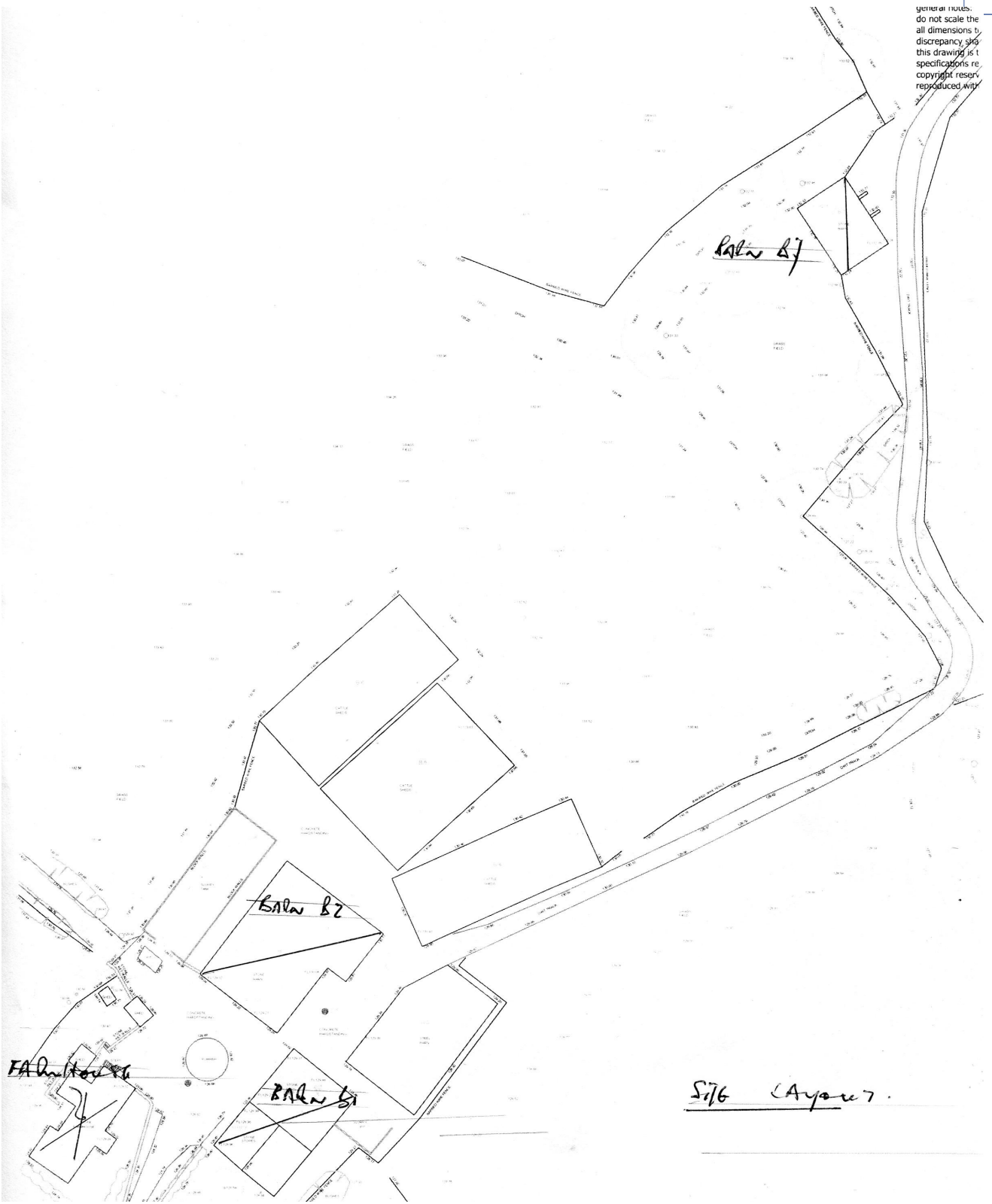
P G Wallace

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general notes:  
do not scale the  
all dimensions to  
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Site Layout



Barn B-1



Front Elevation



Front Elevation



Left Hand Elevation