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Discharge of planning conditions evidence document.

Mr & Mrs Towler

Loft Shay Farm
Clitheroe Road
Knowle Green
PR3 2YQ

This document and accompanying sheets support the application to discharge the following outstanding planning conditions for application 3/2022/0428.

Contents

- Condition 4: Appendix 1-Appendix 4.
- Condition 5: Appendix 5 - Appendix 10
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Condition 4:

Notwithstanding any description of materials in the application and the requirements of condition 2 of this permission, samples or full details of all materials to be used on the external surfaces of the converted dwelling hereby approved shall have been submitted to and approved in writing by the Local Planning Authority prior to their use on site. Such details shall include the type, colour and texture of the materials. The development shall thereafter be implemented in accordance with the duly approved materials.

Reason: In order to ensure use of appropriate materials which are sympathetic to the character of surrounding buildings and area in the interests of visual amenity.

Exterior Stone: For the external walls of the sections which need to be re-built/restored the stone to be used for the exterior will be Random Rubble Sandstone which has been locally reclaimed. Most of this will be reclaimed directly from site but for any other stone needing to be brought in ,another suitable reclaimed sandstone such as below will be used.



Appendix 1 Reclaimed Random Rubble Sandstone sourced from Stone Services Yorkshire

Roof Slate: The Proposed Slate for the roof is the Passaro SS56F Ultra Grade Spanish Natural Slate in Blue/Grey. This is a vernacular slate. A full Specification sheet showing samples , Sizes and BS EN Numbers are featured on an appached pdf. This is titled as Appendix 2 – Roof Slate’s.



Appendix 2 Proposed Natural Spanish Slate

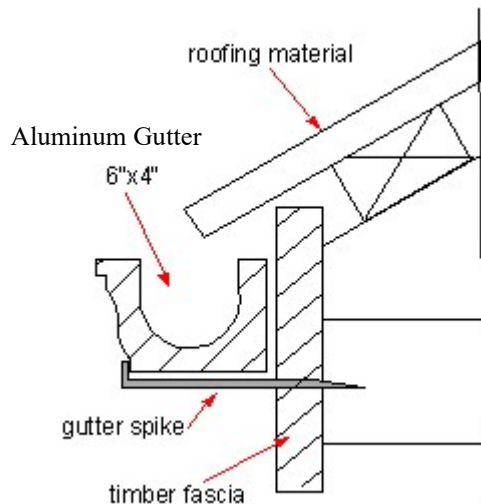
Fascia Boards: The proposed Fascia boards will be external grade traditional timber boards stained or painted black to match with the proposed black aluminium guttering and brackets outlined under Condition 12 of the same approval. The proposed boards will be of a similar style to that shown below.

<https://www.mstc.co.uk/sawn-carcassing-planed-one-face-celcured-21x200-70-pefc-certified-bmt-pefc-0277-21200cepefc>



Appendix 3 External Grade timber to be Stained/painted black

Below is a detail of how this fascia will work in coordination with the aluminium gutter and drive in brackets as specified in Condition 12.



Appendix 4 Example of Drive in gutter spikes with the specified fascia board.

All Windows , Doors , Cills and Lintels will be referenced later in this document under Conditions 10 and 11. This concludes all of the external materials to be used directly on the building.

Condition 5:

Notwithstanding the details shown on the approved plans and the requirements of condition 2 of this permission, within three months of development first taking place a landscaping scheme for the site (including elements of both 'hard' and 'soft' landscaping) shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include details of the proposed surface treatment of all hard surfaced areas and the type, species, siting, planting distances and programme of planting of any trees and shrubs. The duly approved landscaping scheme shall be carried out within 12 months of the converted dwellinghouse first being occupied and the areas which are landscaped shall be retained as landscaped areas thereafter. Any trees or shrubs removed, dying, being severely damaged or becoming seriously diseased within three years of planting shall be replaced by trees or shrubs of similar size and species to those originally required to be planted.

Reason: In order to achieve a satisfactory level of landscaping in the interests of visual amenity.

A full landscaping plan is part of the package of documents titled as “Appendix 5 - Loft Shay Farm Landscaping Plan”. This section will reference directly to this plan and give further insight into the materials to be used. There is a key in the notes tab of the plan outlining the areas for which the appendices below relate.

Hard Standing: The hard standing area on the site is existing for the most part and this will be maintained to the highest degree possible. If any areas are needing to be

repaired then the same material will be used. The hard standing is currently a mixture of asphalt and concrete.



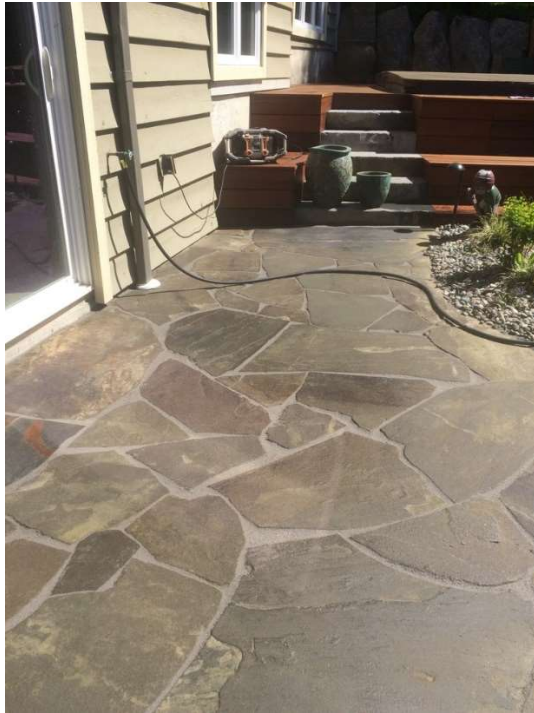
Appendix 6 Example of existing hard standing mixed between asphalt and concrete

Chippings for Drive: The proposed parking area/drive next to the barn is proposed to be loose 20mm limestone chippings. These will be of a style similar to those shown below. These are commonly seen in the local area for various uses.



Appendix 7 Proposed 20mm limestone chippings for drive/parking

Patio Area: The patio area will cover the area to the north west of the property as well as the path which runs to the other side of the property to the rear. The material will also be used to construct the proposed pond/fountain area as well as the floor of the fire pit. The patio material will be a random paving stone which will be polished to give a cleaner look. It will be similar to this shown below.



Appendix 8 Random Paving Stone Patio Example

Low Level Shrubbery: Small amounts of low level shrubbery will be planted around the pond/fountain. These will be simple in nature and will be similar to those found in peoples gardens locally in the area. A list of the proposed plants are as follows.

- *Lobelia cardinalis*
- *Myosotis scorpioides*
- *Molinia caerulea*
- *Picea glauca Conica*

Grass Area: This area will be a maintained grassed area directly to the rear of the property.

Fencing: Fencing will surround some areas of the property to give some privacy from the public areas. The type of fencing is shown below to be timber in nature and similar to those found in the local amenity. Below are the two types of fences/gates to be used. Type 1 is a tall panel style fencing with an approximate height of 1.5 Meters , Type 2 is a post and rail fence style with a height of roughly 1.1 Meters



Appendix 9 Proposed fence and gate type 1



Appendix 10 Proposed fence and gate type 2

Condition 10:

All windows and doors shall be of timber construction and full details of the window frames to be utilised in the development hereby permitted, including samples if so required, shall be submitted to and approved in writing by the Local Planning Authority before any such frames are installed in the development. Such details shall indicate, at a scale of not less than 1:20, the longitudinal and cross-sectional detailing, reveal, and means of opening together with any finished treatment. The window frames shall be installed in accordance with the approved details and thereafter so maintained.

Reason: To ensure a satisfactory standard of appearance in the interests of visual amenity.

Doors: All doors for the property to be timber framed made from either oak or accoya. See the sheet attached titled “ Appendix 11 , Doors , Windows and Hardware” for an outline of the door patterns to be used. Quotes are currently being obtained from the selected supplier.



Appendix 13 Pattern of door to be used for the front entrance

Windows: All Windows for the property to be timber framed made from either oak or accoya similar to the doors. See the sheet attached titled “ Appendix 11, Doors , Windows and Hardware” For a full outline of the window patterns to be used along with the accompanying window schedule. Quotes are currently being obtained from the selected supplier.

The accompanying documents titled

- Appendix 11 , Doors , Windows and Hardware
- Appendix 12 , Window Schedule

Feature details at 1:20 showing the construction and finish of the windows. Internally these will be done with splayed reveals to allow extra light into the property.



Appendix 14 Example of a flush finish timber window

Condition 11:

All window/ door cills and lintels shall be natural stone and full details or samples of the materials to be used for the cills, lintels and any steps shall be submitted to and approved in writing by the Local Planning Authority before installation on site. The development shall be implemented in complete accordance with the approved details and retained as such thereafter.

Reason: To ensure a satisfactory standard of appearance in the interests of visual amenity.

Window Heads and Cills: All of the external heads and sills for the property will be natural stone in sandstone or a sandstone colour depending on availability. This will match the existing cills and lintels already featured on the property and will aim to look the same so as to not draw attention. These will be sourced from a natural stone craft workshop such as Buxton Architectural Stone.



Appendix 15 Natural Stone Cill sourced from Buxton Architectural Stone

Door Lintels and Cills: Similar to the window heads and sills , Natural stone cills in sandstone or a sandstone colour depending on availability. This will be in keeping with the existing surrounds , and the new cills and heads for the new windows. This similarly will be sourced from a natural stone craft workshop such as FeelyStone.



Appendix 16 Natural Stone Lintels in Sandstone.